

PROPOSED NEW SHEDS, ATTACHED CARPORT & EXISTING SHED (DA & BIC)
AT LOT 1 IN DP 1306310
2 MURAC STREET, GOULBURN, NSW, 2580

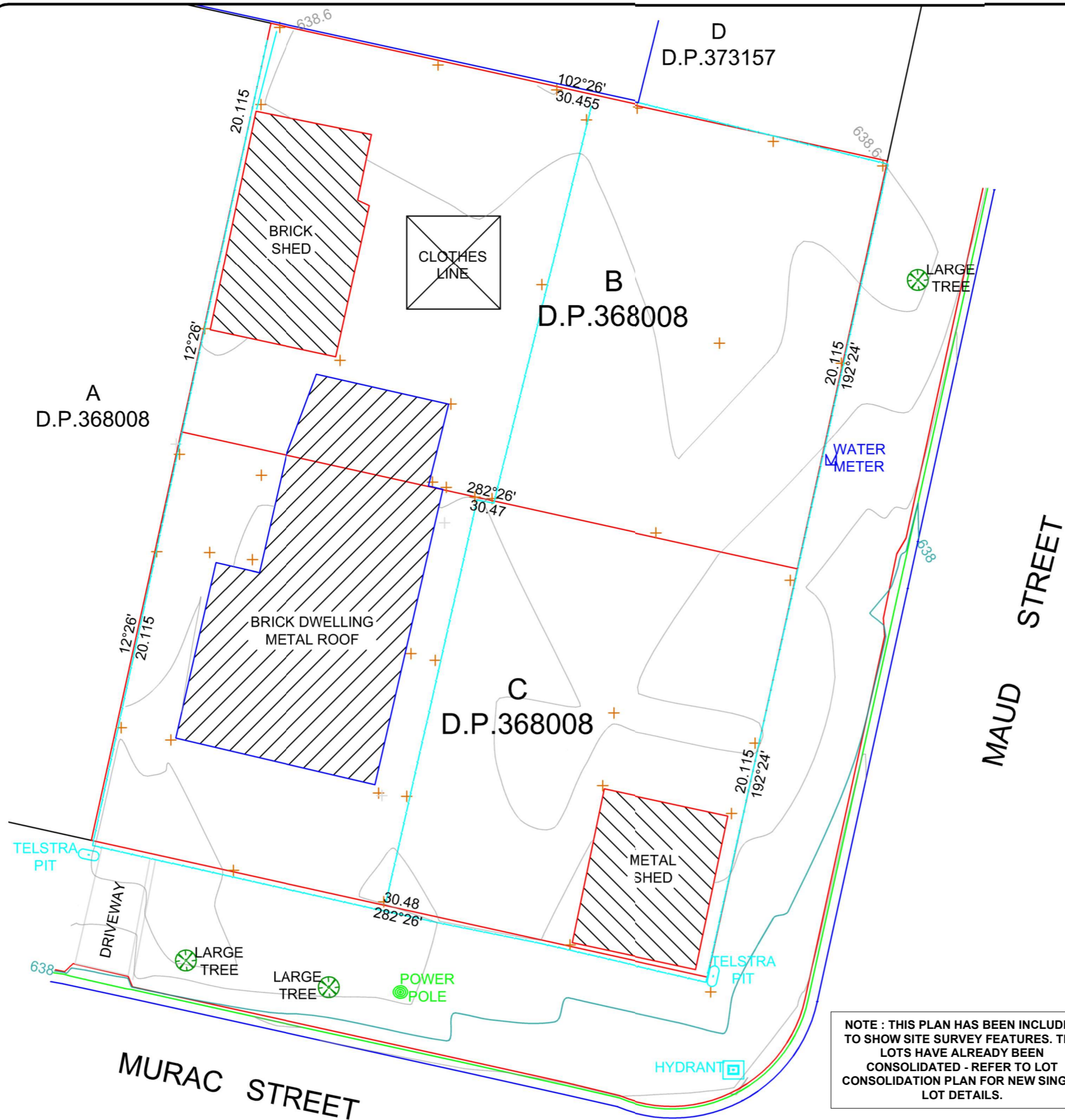
DWG #	REV #	TITLE OF DRAWING
DA-01	A	TITLE
DA-02	A	CPC- DETAIL SITE SURVEY
DA-03	A	PLAN OF CONSOLIDATION OF LOTS
DA-04	A	COMPLIANCE NOTES
DA-05	A	EXISTING / DEMOLITION SITE PLAN
DA-06	A	PROPOSED SITE PLAN
DA-07	A	PROPOSED OVERALL SHED FLOOR PLAN
DA-08	A	PROPOSED SHED FLOOR PLAN - PART A
DA-09	A	PROPOSED SHED FLOOR PLAN - PART B
DA-10	A	EXISTING METAL SHED (DA & BIC) - PLAN & ELEVATIONS
DA-11	A	PROPOSED SHED ROOF PLAN
DA-12	A	PROPOSED ELEVATIONS 1
DA-13	A	PROPOSED ELEVATIONS 2
DA-14	A	PROPOSED SECTION A

DWG #	REV #	TITLE OF DRAWING
DA-15	A	DETAILS - ACCESS TOILET
DA-16	A	DETAILS - STREETSCAPE COLOURBOARD
DA-17	A	DETAILS - WINDOW & DOOR SCHEDULES
DA-18	A	SITE DETAIL PLAN - SITE SETOUT
DA-19	A	SITE DETAIL PLAN - SLAB SETOUT
DA-20	A	SITE DETAIL PLAN - EROSION CONTROL NOTES & PLAN
DA-21	A	SITE DETAIL PLANS - CUT & FILL
DA-22	A	SITE DETAIL PLAN - LANDSCAPE
DA-23	A	SITE DETAIL PLAN - VEHICLE TURNING CIRCLES
DA-24	A	SITE DETAIL PLAN - SHADOW DIAGRAMS 1
DA-25	A	SITE DETAIL PLANS - SHADOW DIAGRAMS 2
DA-26	A	3D PERSPECTIVES 1
DA-27	A	3D PERSPECTIVES 2
NP-01	A	NOTIFICATION PLAN

ISSUED FOR DEVELOPMENT APPLICATION &
BUILDING INFORMATION CERTIFICATE

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY	
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	C. JAMES		LOT 1 DP 1306310	A3 SHEET	AW	
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS	DRAWING IDENTIFICATION NUMBER	JOB NUMBER AMENDMENT ISSUE	
					2 MURAC STREET GOULBURN NSW 2580	DA-01	0124-1641 A	



CPC

LAND DEVELOPMENT CONSULTANTS PTY LTD

PO Box 70
299 Sloane Street
GOULBURN
N.S.W. 2580

PH: 4823 5100

EMAIL:
paul@cpcland.com.au

CLIENT:
CAROL JAMES

PLAN SHOWING
DETAIL SITE SURVEY
OF LOTS B & C IN
D.P.368008
110 MAUD STREET
GOULBURN

REFERENCE : 22345

LGA:
GOULBURN MULWAREE

DATE: 10/11/2022

EDITION: A

PLAN NUMBER:
22345-A-20221110/SD

SCALE: 1:200 (A3)

SHEET: 1 OF 1

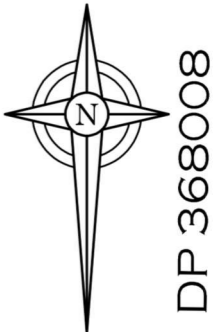
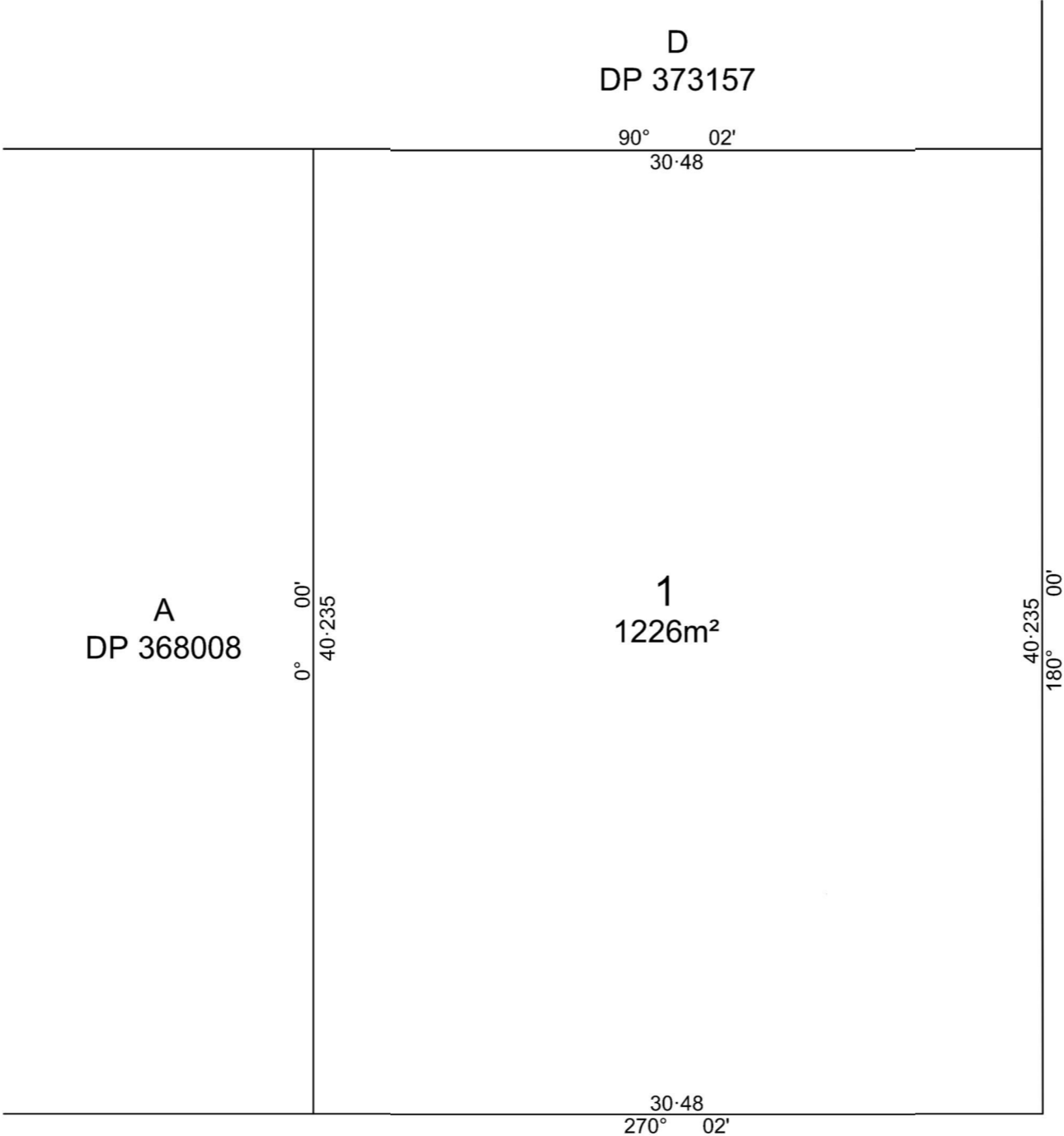
Origin of Level: SCIMS
PM 9062 - RL:637.347
Contour interval: 0.2m
Height Datum: AHD

NOTE : THIS PLAN HAS BEEN INCLUDED
TO SHOW SITE SURVEY FEATURES. THE
LOTS HAVE ALREADY BEEN
CONSOLIDATED - REFER TO LOT
CONSOLIDATION PLAN FOR NEW SINGLE
LOT DETAILS.

The plan has been prepared for Detail
purposes for use in the matter.

NOT TO BE USED FOR BOUNDARY
DEFINITION

Req:R514864 /Doc:DP 1306310 P /Rev:03-Jun-2024 /Prt:04-Jun-2024 04:01 /Seq:1 of 3
© Office of the Registrar-General /Src:NSW LRS Connect /Ref:LRS:Connect-S ForSurveyor Use Only



Name: James Reginald McMahon
Date: 10/04/2024
Reference: 22345 - 2024M7100 (143) Comp

PLAN OF CONSOLIDATION OF
LOTS B & C IN DP 368008

L.G.A.: GOULBURN MULWAREE
Locality: GOULBURN
Reduction Ratio: 1:250
Lengths are in metres



Registered
01/06/2024

DP1306310

10	20	30	40	50	60	70	Table of mm	100	110	120	130	140	150
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MAUD STREET

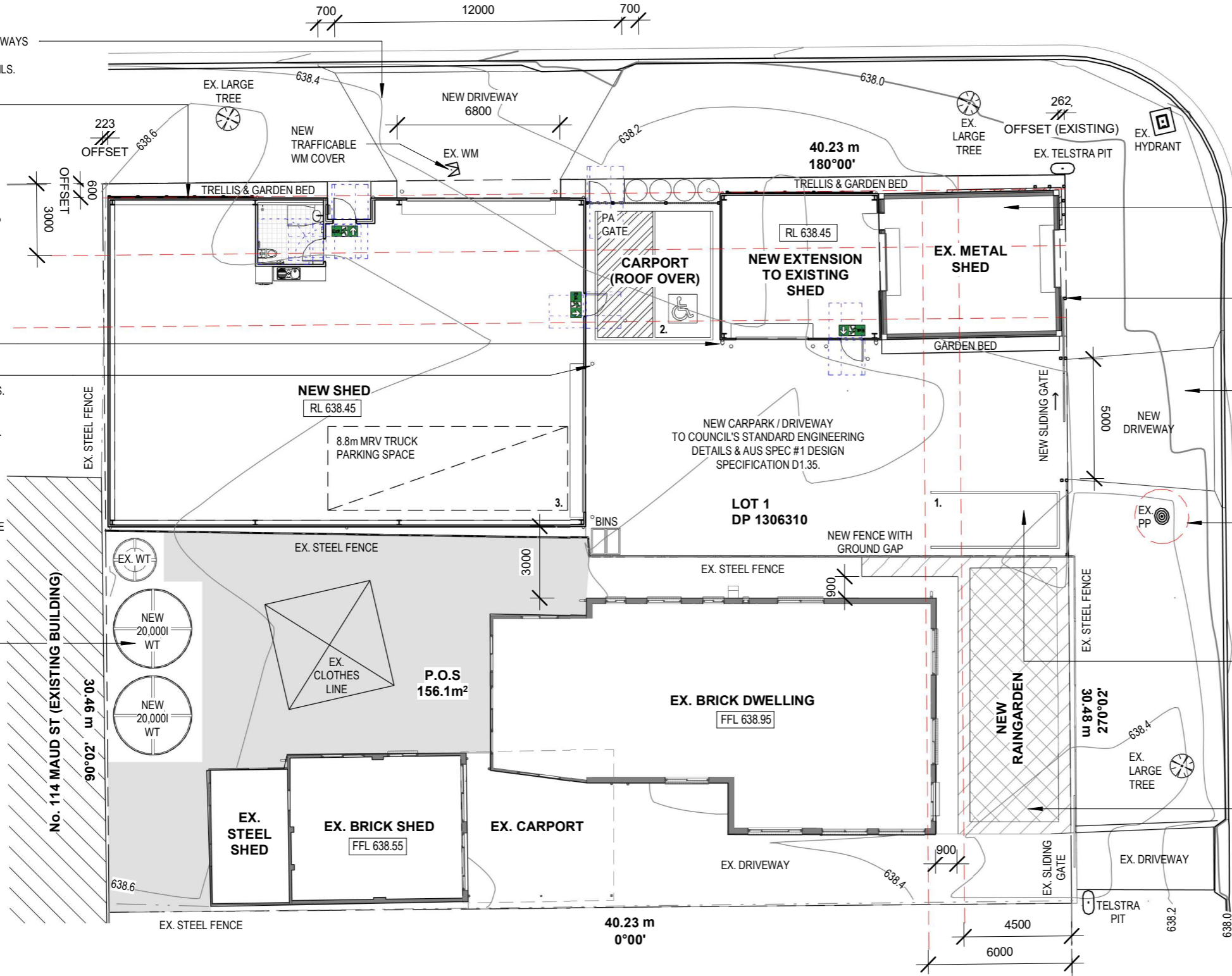
REINFORCED CONCRETE DRIVEWAYS & LAYBACKS TO COUNCIL'S STANDARD ENGINEERING DETAILS.

ALL AREAS OF THE BUILDING (INCLUDING OPENINGS) THAT ARE WITHIN 3m OF THE BOUNDARY TO BE FIRE RATED TO MEET NCC C2D2 (TYPE C CONSTRUCTION) & SPEC 5 S5C24.

SOLID WALL MOUNTED, HOT DIP GALVANISED, HEAVY DUTY DOWNPIPE PROTECTOR GUARDS, SIZED TO SUIT DOWNPIPE SIZE, FABRICATED FROM 5mm CHEQUERPLATE STEEL, FIX THROUGH TO STEEL STRUCTURE & INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

FIXED HEAVY DUTY STEEL BOLLARDS TO PROTECT DOORS. 10mm BASE PLATE 250x250mm. FIX INTO 350Ø 600 DEEP MASS CONCRETE FOOTING WITH 4 No. M16 CHEMSET ANCHOR MIN. 150mm EMBEDMENT. HOT DIP GALVANISED FINISH WITH SAFETY YELLOW POWDERCOATING. CAST ALUMINIUM CAPS WITH STANDARD CLASS 1 REFLECTIVE BAND. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

2 x 20,000L WATER TANKS ON 100mm CONCRETE SLAB, CONNECT OVERFLOW TO EXISTING STORMWATER SYSTEM.



EXISTING METAL SHED FOR DA & BIC APPROVAL.

NEW FRONT FENCE, PA GATE (920mm DL) & 5w x2.1h m AUTOMATIC SLIDING GATE TO FRONT BOUNDARY TO BE POWDERCOAT STEEL PALISADE FENCE & GATES. ALL GATE CIRCULATION SPACES TO MEET AS1428.1.

REINFORCED CONCRETE DRIVEWAYS & LAYBACKS TO COUNCIL'S STANDARD ENGINEERING DETAILS.

LOCATION OF EXISTING POWERPOLE WITH 1m CLEARANCE ZONE SHOWN DASHED RED.

ONSITE CARPARKING & ACCESSIBLE PARKING IN ACCORDANCE WITH AS2890.1, AS2890.6 & COUNCIL'S STANDARD ENGINEERING DETAILS.

BIORETENTION BASIN 38m² OF EXTENDED DETENTION 100mm DEEP & 5m² OF FILTER MATERIAL 300mm DEEP. REFER TO HYDRAULIC ENGINEER'S DETAILS.

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

SITE AREA 1225.85 m²

EX. METAL SHED	46.39 m²
NEW CARPORT	33.28 m²
NEW EXTENSION SHED	40.90 m²
NEW SHED	270.83 m²
	391.40 m²

EX. STEEL SHED	18.70 m²
EX. CARPORT	32.93 m²
EX. BRICK SHED	46.33 m²
EX. RESIDENCE	158.08 m²
	256.03 m²

NOTE : THE ACCESSIBLE CARPARK SPACE HAS BEEN SHOWN COMPLIANT WITH AS2890.6, HOWEVER, WHEN CONSTRUCTED THE SIGNAGE IS NOT REQUIRED AS THE CARPARK IS NOT MORE THAN 5 CARPARKING SPACES TO MEET NCC D4D6 (1) (d) WHICH STATES : (1) ACCESSIBLE CARPARKING SPACES - (d) NEED NOT BE IDENTIFIED WITH SIGNAGE WHERE THERE IS A TOTAL OF NOT MORE THAN 5 CARPARKING SPACES, SO AS TO RESTRICT THE USE OF THE CARPARKING SPACE ONLY FOR PEOPLE WITH A DISABILITY.

INGRESS INTO & EGRESS FROM THE SITE, CARPARKING & ACCESS, DRIVEWAY WIDTHS & TURNING CIRCLES MUST BE DESIGNED INSTALLED TO MEET AS2890, AS1428, NCC, & COUNCIL'S STANDARD ENGINEERING DETAILS.

1 PROPOSED SITE PLAN
1 : 200 @ A3



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DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED

CLIENT	C. JAMES
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	

TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE PROPOSED SITE PLAN

LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310
STREET ADDRESS	2 MURAC STREET GOULBURN NSW 2580

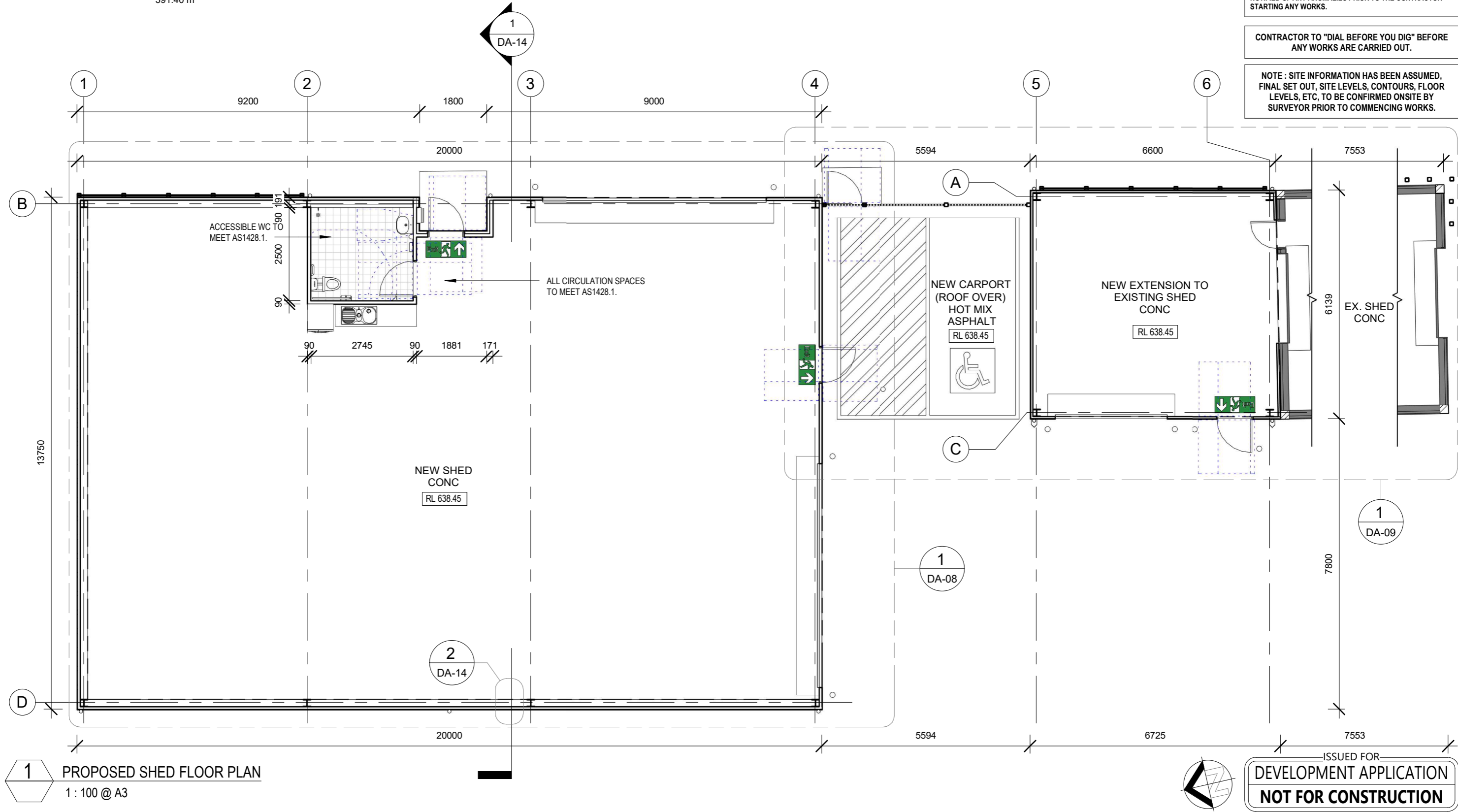
DRAWING COMMENCED	APRIL 24	DRAWING VERIFIED BY	TL
DRAWING SCALE	As indicated	DRAWN BY	AW
AT SHEET SIZE	A3 SHEET	JOB NUMBER	0124-1641
DRAWING IDENTIFICATION NUMBER	DA-06	AMENDMENT ISSUE	A

EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²

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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

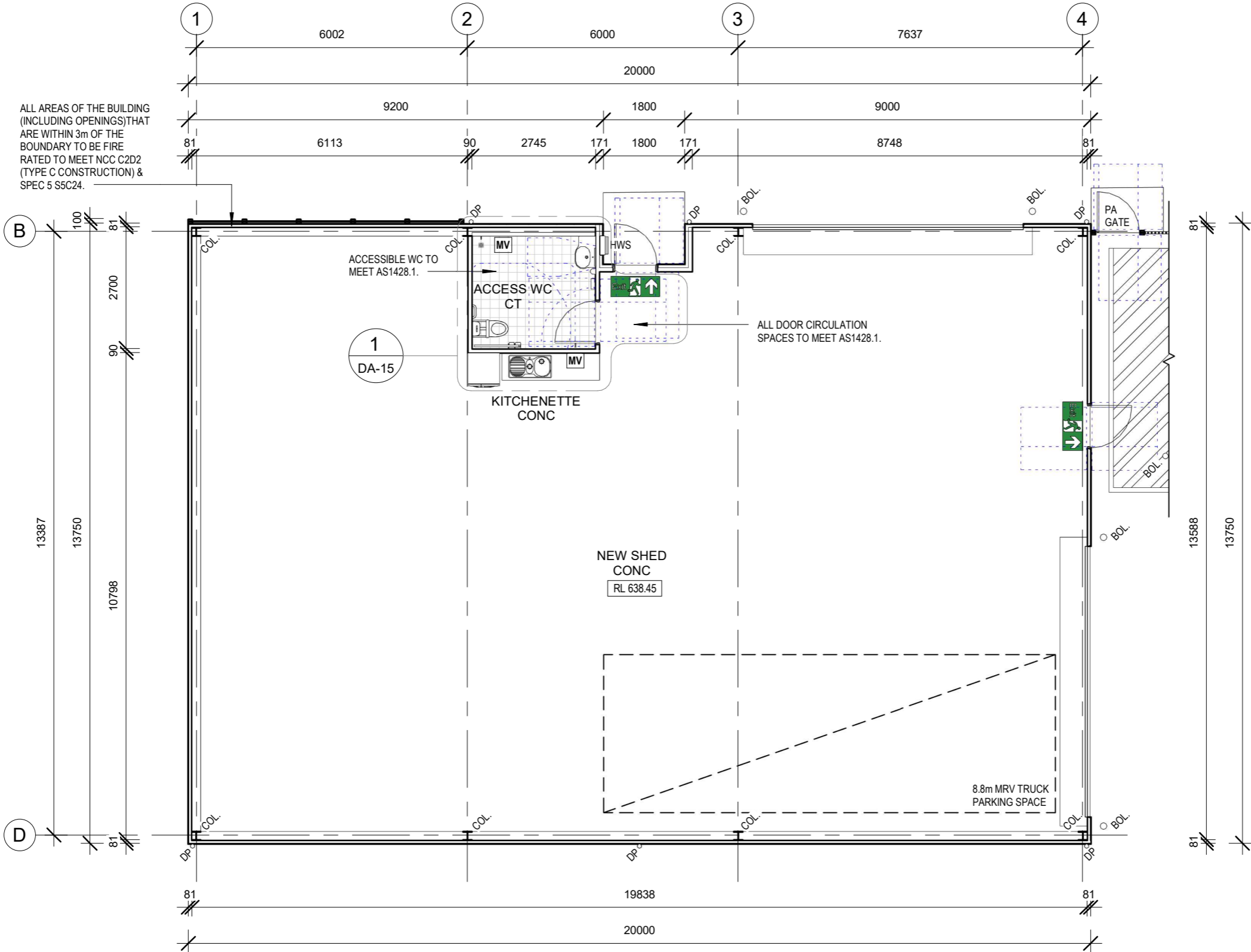
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1 PROPOSED SHED FLOOR PLAN
1 : 100 @ A3

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REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW
<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>					STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
						DRAWING IDENTIFICATION NUMBER DA-07	AMENDMENT ISSUE A



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EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²

1 PROPOSED SHED FLOOR PLAN - PART A
1 : 100 @ A3



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REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		PROPOSED SHED FLOOR PLAN - PART A	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
						DRAWING IDENTIFICATION NUMBER DA-08	AMENDMENT ISSUE A

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
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NEW SHED	270.83 m ²
	391.40 m ²



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REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW	
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						STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER DA-09	AMENDMENT ISSUE A



- EXISTING STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS .
- EXISTING KLIP-LOC WALL CLADDING INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

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LEVELS, ETC, TO BE CONFIRMED ONSITE BY
SURVEYOR PRIOR TO COMMENCING WORKS.**

EX. METAL SHED	46.39 m ²
----------------	----------------------

- EXISTING STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS .
- EXISTING KLIP-LOC WALL CLADDING INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

STEEL FRAMED, POWDERCOAT
FINISH ROLLER DOOR TO SHED
MANUFACTURER'S DETAILS.

- EXISTING STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS .
- EXISTING KLIP-LOC WALL CLADDING INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

EXISTING STEEL FRAMED,
POWDERCOAT FINIHS ROLLER
DOOR TO SHED MANUFACTURER'S
DETAILS.



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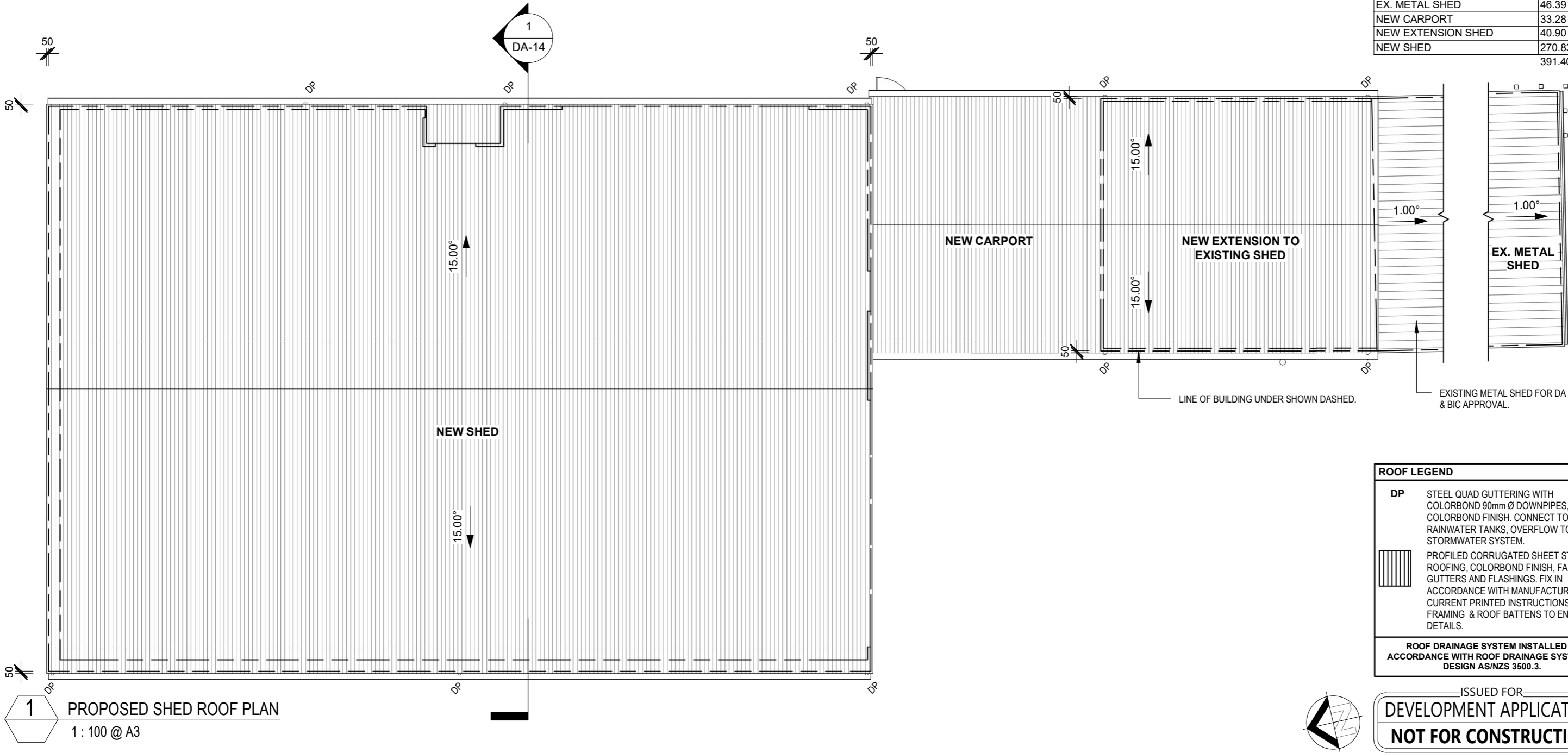
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div><div></div><div></div></div><div><div>TIM LEE</div><div>ARCHITECTS</div></div><div><div>residential commercial industrial</div></div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW</div><div>2580</div></div><div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div><div>C</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		EXISTING METAL SHED (DA & BIC) - PLAN & ELEVATIONS	APRIL 24	TL
			CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW
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						DRAWING IDENTIFICATION NUMBER DA-10	AMENDMENT ISSUE A


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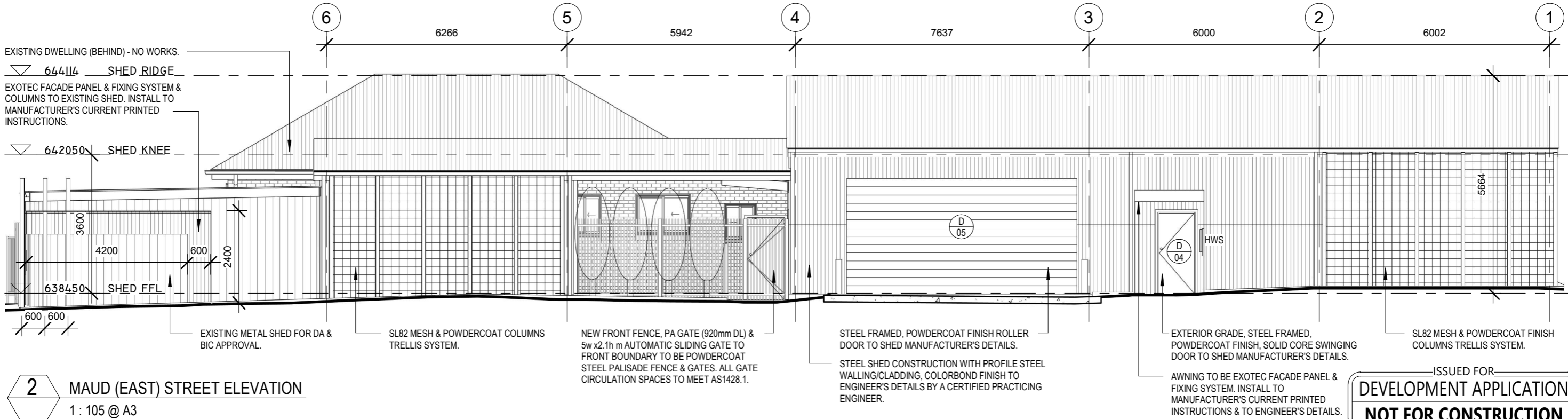
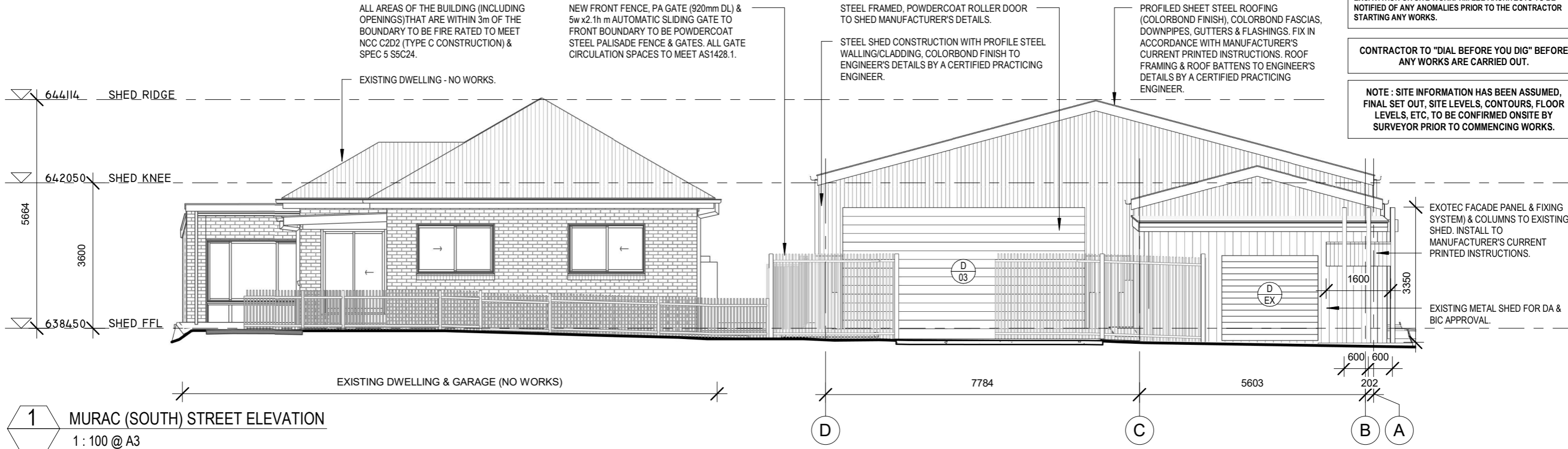


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			C. JAMES		LOT 1 DP 1306310	As indicated	AW
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					2 MURAC STREET GOULBURN NSW 2580	A3 SHEET	0124-1641
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-11	A

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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	<div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div> <p>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</p> <p>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</p>	DRAWING TITLE PROPOSED ELEVATIONS 1	DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE As indicated	DRAWN BY AW
			<p>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</p> <div>C</div>		STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
						DRAWING IDENTIFICATION NUMBER DA-12	AMENDMENT ISSUE A

AWNING TO BE EXOTEC FACADE PANEL & FIXING SYSTEM. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS BY A CERTIFIED PRACTICING ENGINEER.

PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, DOWNPIPES, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS BY A CERTIFIED PRACTICING ENGINEER.

NEW FRONT FENCE, PA GATE (920mm DL) & 5w x2.1h m AUTOMATIC SLIDING GATE TO FRONT BOUNDARY TO BE POWDERCOAT STEEL PALISADE FENCE & GATES. ALL GATE CIRCULATION SPACES TO MEET AS1428.1.

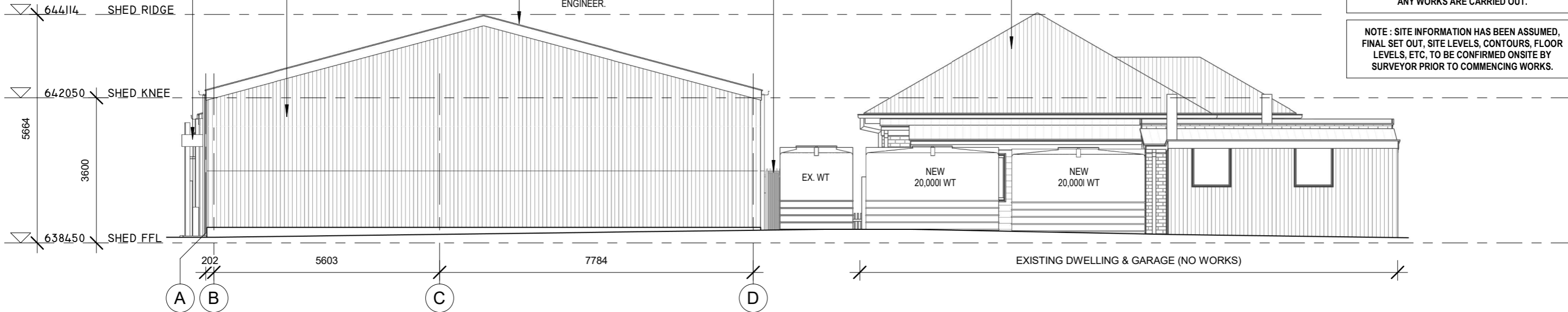
ALL AREAS OF THE BUILDING (INCLUDING OPENINGS) THAT ARE WITHIN 3m OF THE BOUNDARY TO BE FIRE RATED TO MEET NCC C2D2 (TYPE C CONSTRUCTION) & SPEC 5 S5C24.

EXISTING DWELLING - NO WORKS.

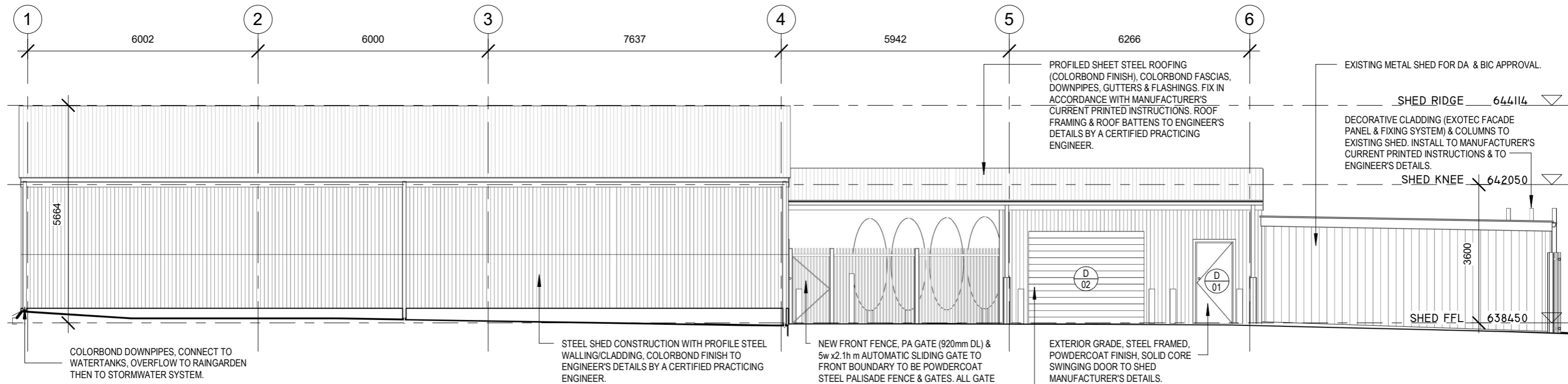
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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.



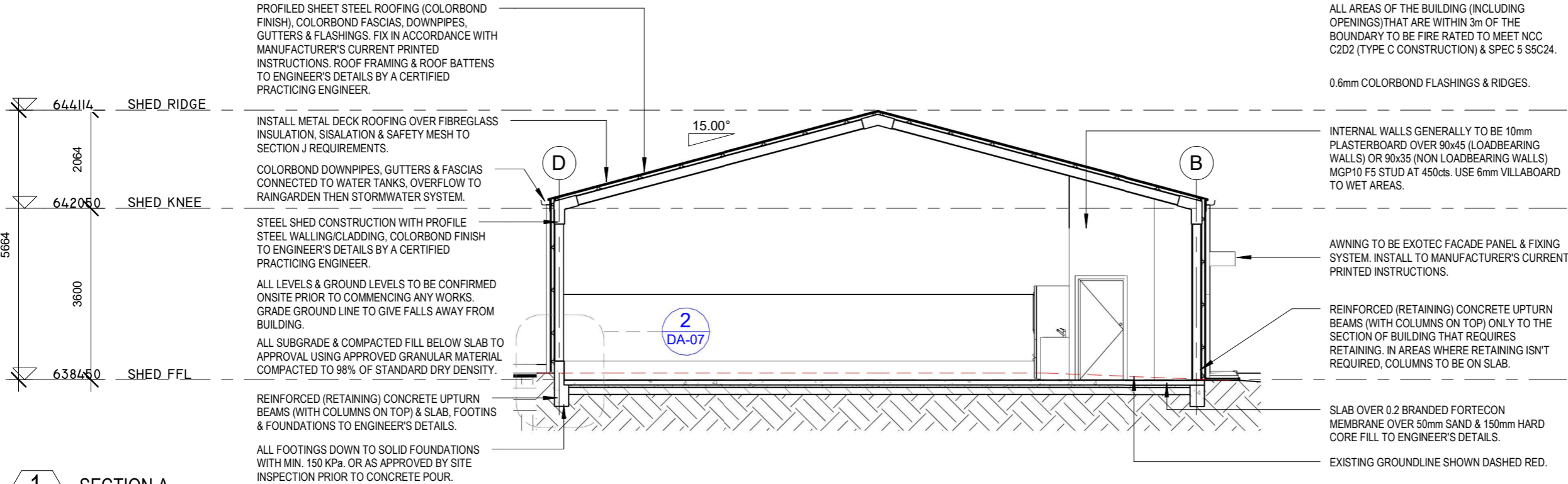
1 PROPOSED NORTH ELEVATION
1 : 100 @ A3



2 PROPOSED WEST ELEVATION
1 : 105 @ A3

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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	DRAWING TITLE PROPOSED ELEVATIONS 2		DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES	LOT 1 DP 1306310		DRAWING SCALE As indicated	DRAWN BY AW
			<p>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</p> <div>C</div>			AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
						STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER DA-13



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GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

GRADE GROUND LINE TO GIVE FALLS AWAY FROM BUILDING.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.

A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

CONCRETE SLABS & FOUNDATIONS

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONAL TIMBER FRAMING CODE). STEEL TO ENGINEER'S DETAILS.

CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS . INSTALL ALL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALLS) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - CLADDING

EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS/ SECTION J REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

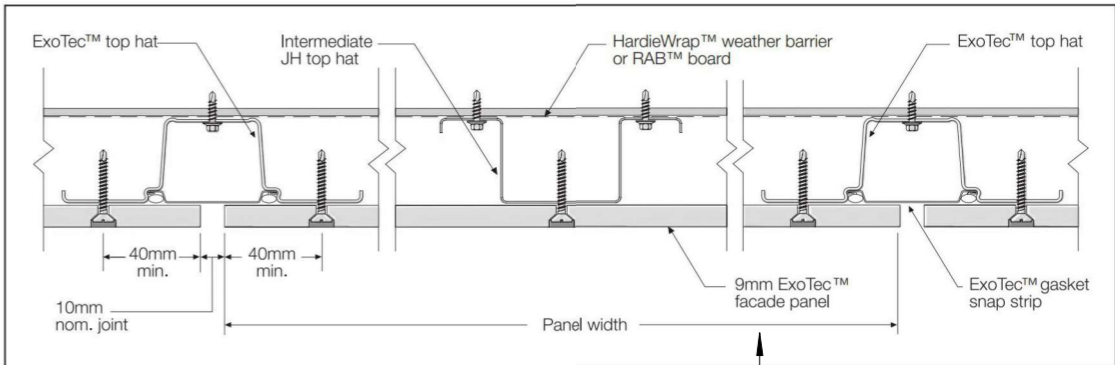


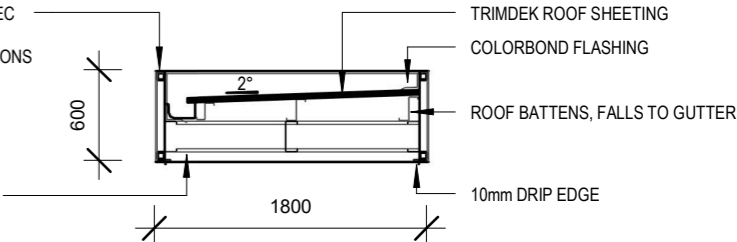
FIGURE 7 TOP HAT AND PANEL FIXING DETAIL FOR EXOTEC™ PANELS

3 EXOTEC FACADE PANEL & FIXING SYSTEM
NTS @ A3

50 SHS FRAME TO AWNING, SHEETED WITH EXOTEC FACADE PANEL & FIXING SYSTEM. INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS

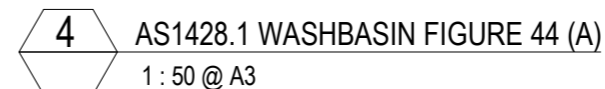
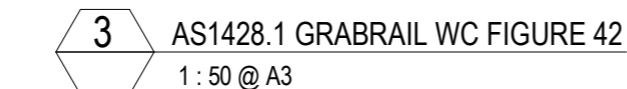
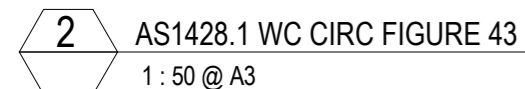
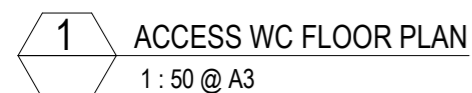
AWNING CONSTRUCTION / STEEL FRAME / CONNECTION TO BUILDING TO ENGINEER'S DETAILS.

4 TYPICAL AWNING DETAIL
1 : 50 @ A3



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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE PROPOSED SECTION A		DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION	DESCRIPTION	DATE	CLIENT C. JAMES			LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE As indicated	DRAWN BY AW
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(d) THE SLOPE OF FLOOR OF THE REMAINDER OF THE SANITARY FACILITY SHALL HAVE A GRADIENT BETWEEN 1:80 & 1:100, AS SHOWN IN FIGURE 49.



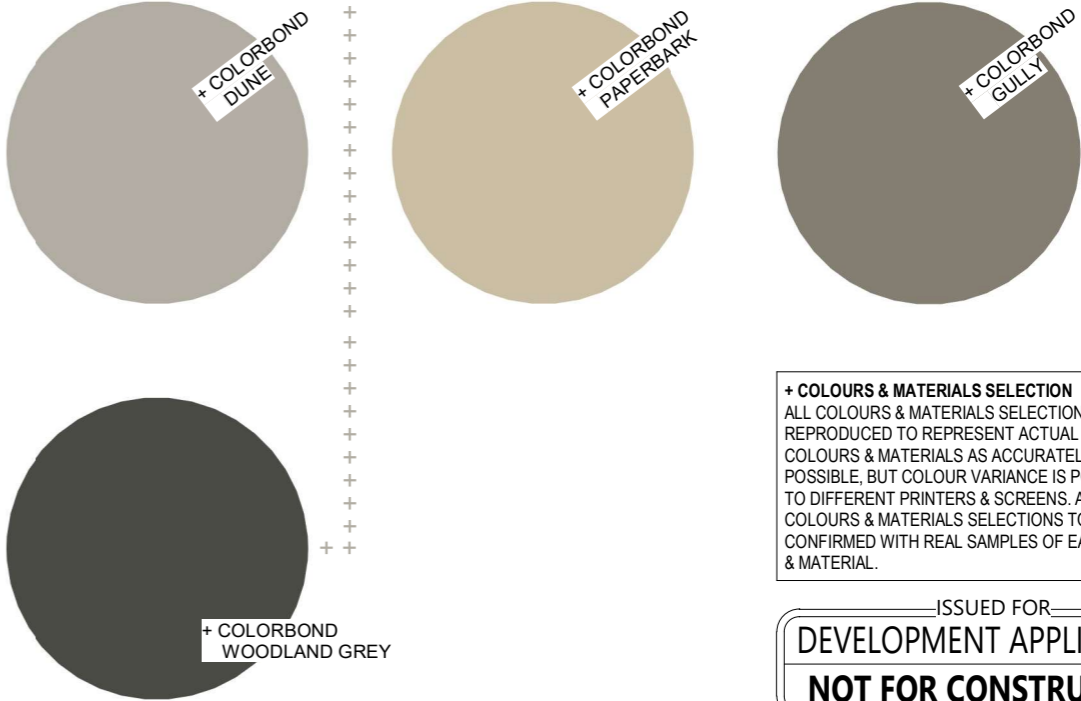
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1 STREESCAPE COLOURBOARD
@ A3

+ COLOURS & MATERIALS SCHEDULE		
+ BUILDING FABRIC	+ MATERIALS	+ COLOUR
ROOF	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
AWNING	EXOTEC FACADE PANEL & FIXING SYSTEM	COLORBOND PAPERBARK
FASCIA	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
GUTTERS	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
DOWNPIPES 1	COLORBOND STEEL	COLORBOND WOODLAND GREY
DOWNPIPES 2	COLORBOND STEEL	COLORBOND GULLY
FLASHING & RIDGES	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
WALLS 1	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
WALLS 2	COLORBOND STEEL SHEETING	COLORBOND GULLY
DECORATIVE CLADDING	EXOTEC FACADE PANEL & FIXING SYSTEM	COLORBOND WOODLAND GREY
DECORATIVE CLADDING COLUMNS	POWDERCOAT STEEL	COLORBOND WOODLAND GREY
DOORS - SWINGING	POWDERCOAT STEEL FRAMED	COLORBOND DUNE
DOORS - ROLLER	POWDERCOAT STEEL FRAMED	COLORBOND DUNE
TRELLIS - MESH	SL82 TRENCH MESH	SL82 TRENCH MESH
TRELLIS - COLUMNS	POWDERCOAT STEEL	COLORBOND WOODLAND GREY
FENCE	POWDERCOAT PALISADE	COLORBOND WOODLAND GREY
GATES - SWINGING	POWDERCOAT PALISADE	COLORBOND WOODLAND GREY
GATES - SLIDING	POWDERCOAT PALISADE	COLORBOND WOODLAND GREY
BOLLARDS - ACCESSIBLE	POWDERCOAT STEEL	AS 1428.1 BLUE
BOLLARDS - STANDARD	POWDERCOAT STEEL	AS2890.1 YELLOW
DOWNPIPE GUARDS	POWDERCOAT STEEL	AS2890.1 YELLOW



+ COLOURS & MATERIALS SELECTION
ALL COLOURS & MATERIALS SELECTIONS HAVE BEEN REPRODUCED TO REPRESENT ACTUAL PRODUCT COLOURS & MATERIALS AS ACCURATELY AS POSSIBLE, BUT COLOUR VARIANCE IS POSSIBLE DUE TO DIFFERENT PRINTERS & SCREENS. ALL FINAL COLOURS & MATERIALS SELECTIONS TO BE CONFIRMED WITH REAL SAMPLES OF EACH COLOUR & MATERIAL.

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		DETAILS - STREETSCAPE COLOURBOARD <td>APRIL 24<td>TL</td></td>	APRIL 24 <td>TL</td>	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	C. JAMES		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
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				STREET ADDRESS	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
				2 MURAC STREET GOULBURN NSW 2580	DA-16	A	

TIM LEE ARCHITECTS

residential commercial industrial

P: 02 4822 5934

ABN: 71425067537

ROSS PLACE

GOULBURN NSW

2580

NOMINATED ARCHITECT:

TIM LEE

NSW REG: 7304

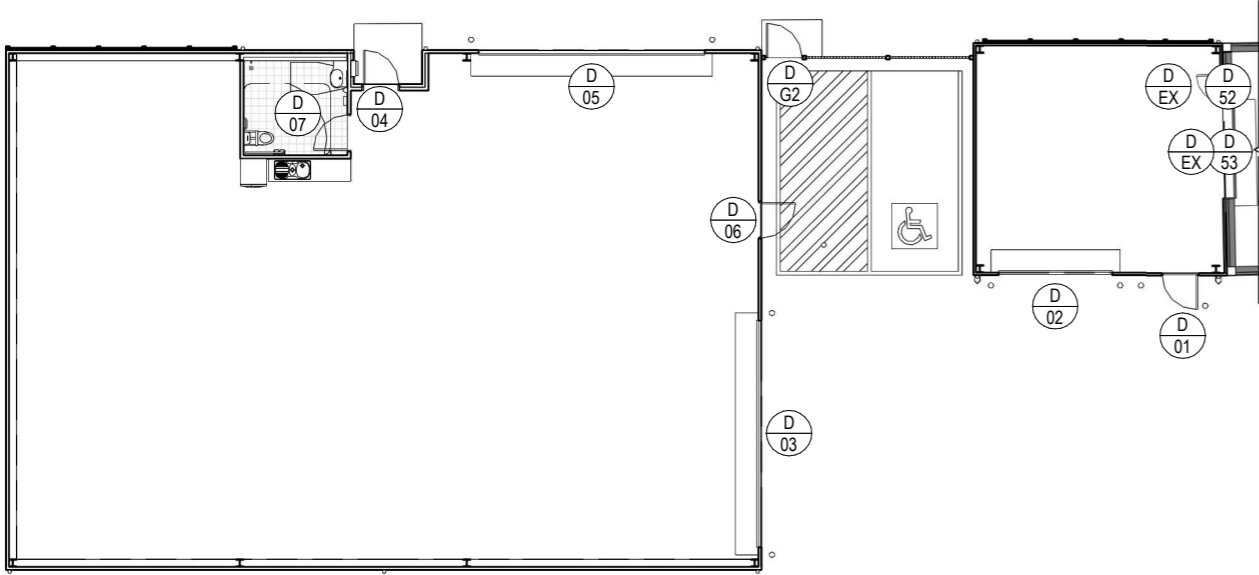
ACT REG: 1030

DOOR SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	EXTERIOR GRADE, STEEL FRAMED SECURITY PA DOOR, POWDERCOAT FINISH TO MEET NCC D3D26 & AS1428.1. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	0	2100
02	STEEL FRAMED, SECURITY ROLLER DOOR TO MEET NCC & SHED MANUFACTURER'S DETAILS.	2400	3000	0	2400
03	STEEL FRAMED SECURITY FIRE RATED ROLLER DOOR, POWDERCOAT FINISH TO MEET NCC C4D3-8 & SHED MANUFACTURER'S DETAILS.	3000	6000	0	3000
04	EXTERIOR GRADE, STEEL FRAMED, SELF-CLOSING, SECURITY PA FIRE RATED DOOR, POWDERCOAT FINISH TO MEET NCC C4D3-8, NCC D3D26 & AS1428.1. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	0	2100
05	STEEL FRAMED SECURITY FIRE RATED ROLLER DOOR, POWDERCOAT FINISH TO MEET NCC C4D3-8 & SHED MANUFACTURER'S DETAILS.	3000	6000	0	3000
06	EXTERIOR GRADE, STEEL FRAMED SECURITY PA DOOR, POWDERCOAT FINISH TO MEET NCC D3D26 & AS1428.1. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	0	2100
07	INTERIOR, STEEL FRAMED, SOLID CORE SWINGING DOOR WITH 304 SS 300mm KICKPLATE TO BOTH SIDES OF DOOR LEAF.	2100	920	0	2100
G1	COMMERCIAL GRADE, STEEL FRAMED, AUTOMATIC DOUBLE SLIDING GATE (VEHICULAR ENTRY) POWDERCOAT FINISH WITH AUTOMATIC MOTORISED SLIDING GATE, GATE TRACK & OPERATING MECHANISM, ANTI-CRUSH & SLOW DOWN MODE TO MATCH PALISADE FENCING TO MEET NCC & AS1428.1.	2100	5000	0	2100
G2	COMMERCIAL GRADE, STEEL FRAMED SECURITY SINGLE SWING ENTRY GATE, POWDERCOAT FINISH TO MATCH PALISADE FENCING TO MEET AS1428.1 & NCC. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	-145	1955

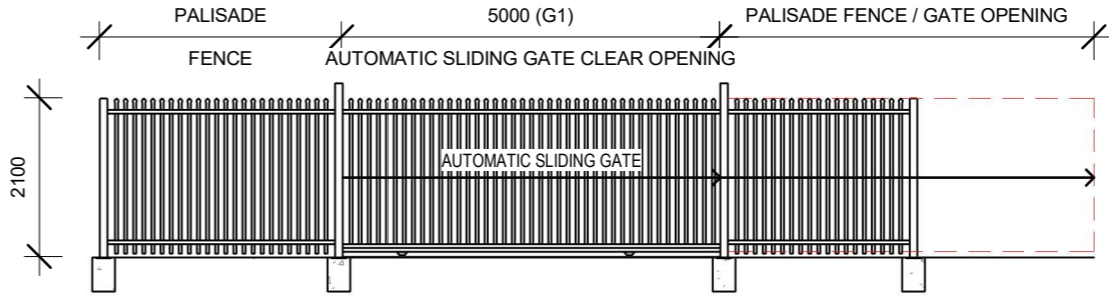
ALL DOOR CIRCULATION SPACES TO MEET AS1428.1. ALL SWING DOORS TO BE FITTED WITH MATCHING FLYSCREENS. FINAL DOOR SELECTIONS, STYLE, OPERATION TYPE, GLAZING & FRAME TYPE TO BE BY CLIENT& BUILDER & TO BE IN ACCORDANCE WITH SECION J REQUIREMENTS.

(-) NEGATIVE SYMBOL INDICATES SILL/HEAD HEIGHTS OFFSETS FROM THE MAIN LEVEL OF EACH BUILDING.

NOTE : 2100h PALISADE FENCING, AS1428.1 PA SINGLE SWING GATE & VEHICULAR AUTOMATIC SLIDING GATE SYSTEM. 100x100 POSTS, 50x50 RAILS, 40x40mm SPEARS WITH SQUARE PICKET PUNCHED THROUGH, WELDED & FINISHED WITH A PRESSED SPEAR IN PRE-GALVANISED POWDERCOAT STEEL. AUTOMATIC MOTORISED SLIDING GATE, GATE TRACK & OPERATING MECHANISM, ANTI-CRUSH & SLOW DOWN MODE TO MATCH FENCE. FENCE & GATES SYSTEM TO BE DESIGNED & INSTALLED BY MANUFACTURER REPRESENTATIVE & TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. HEIGHT VARIES TO MATCH GROUND LEVELS. COLOUR TO BE SELECTED BY CLIENT.



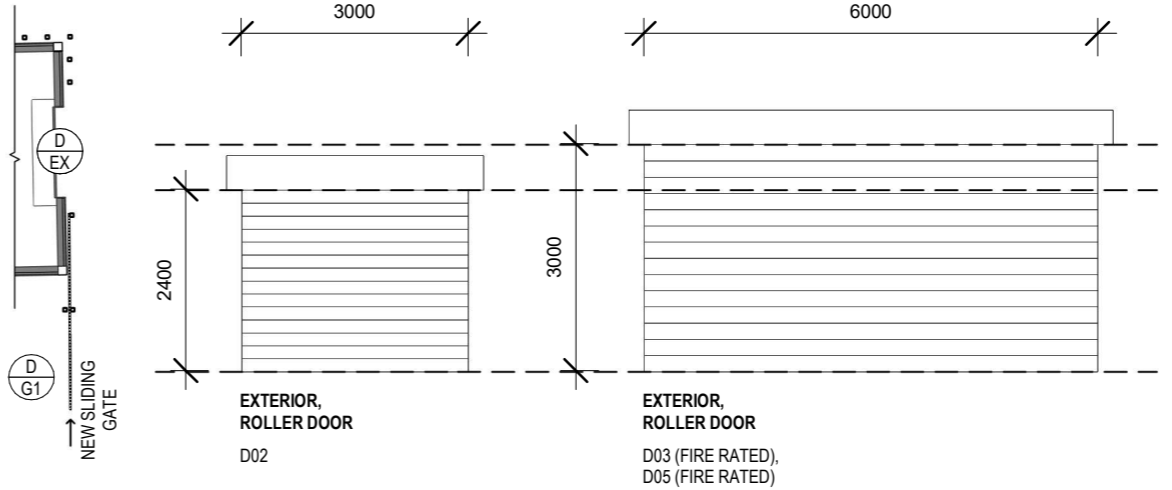
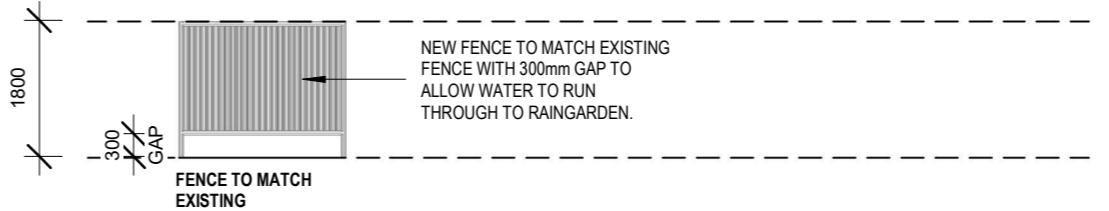
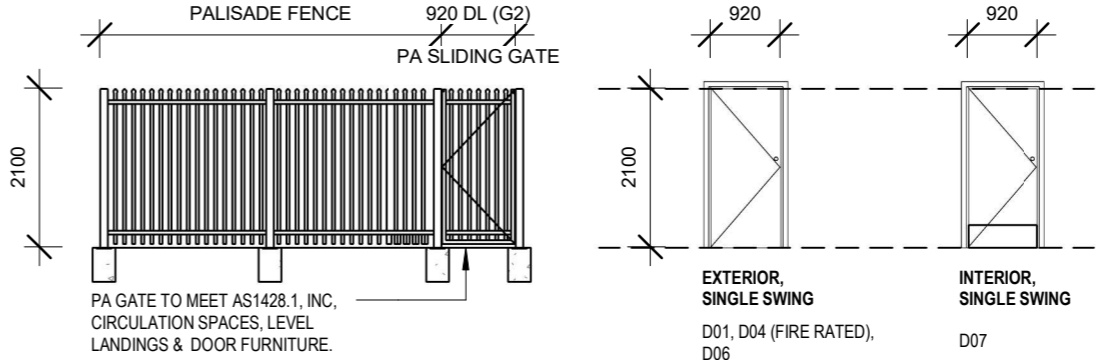
1 WINDOW & DOOR TAGS PLAN
1 : 200 @ A3



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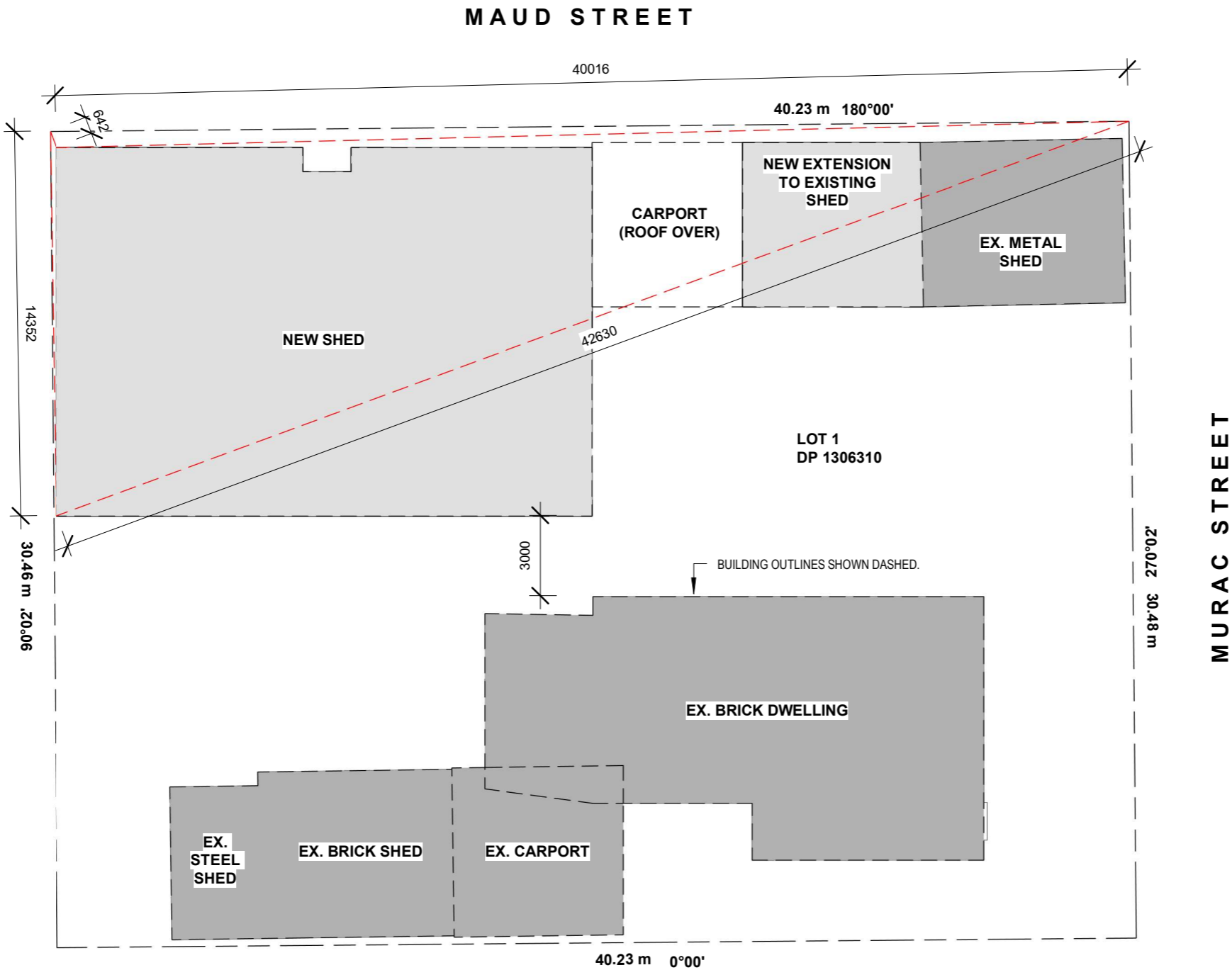
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REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE As indicated	DRAWN BY AW
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						DRAWING IDENTIFICATION NUMBER DA-17	AMENDMENT ISSUE A

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SITE AREA1225.85 m²



1 SITE DETAIL PLAN - SITE SETOUT
1 : 200 @ A3



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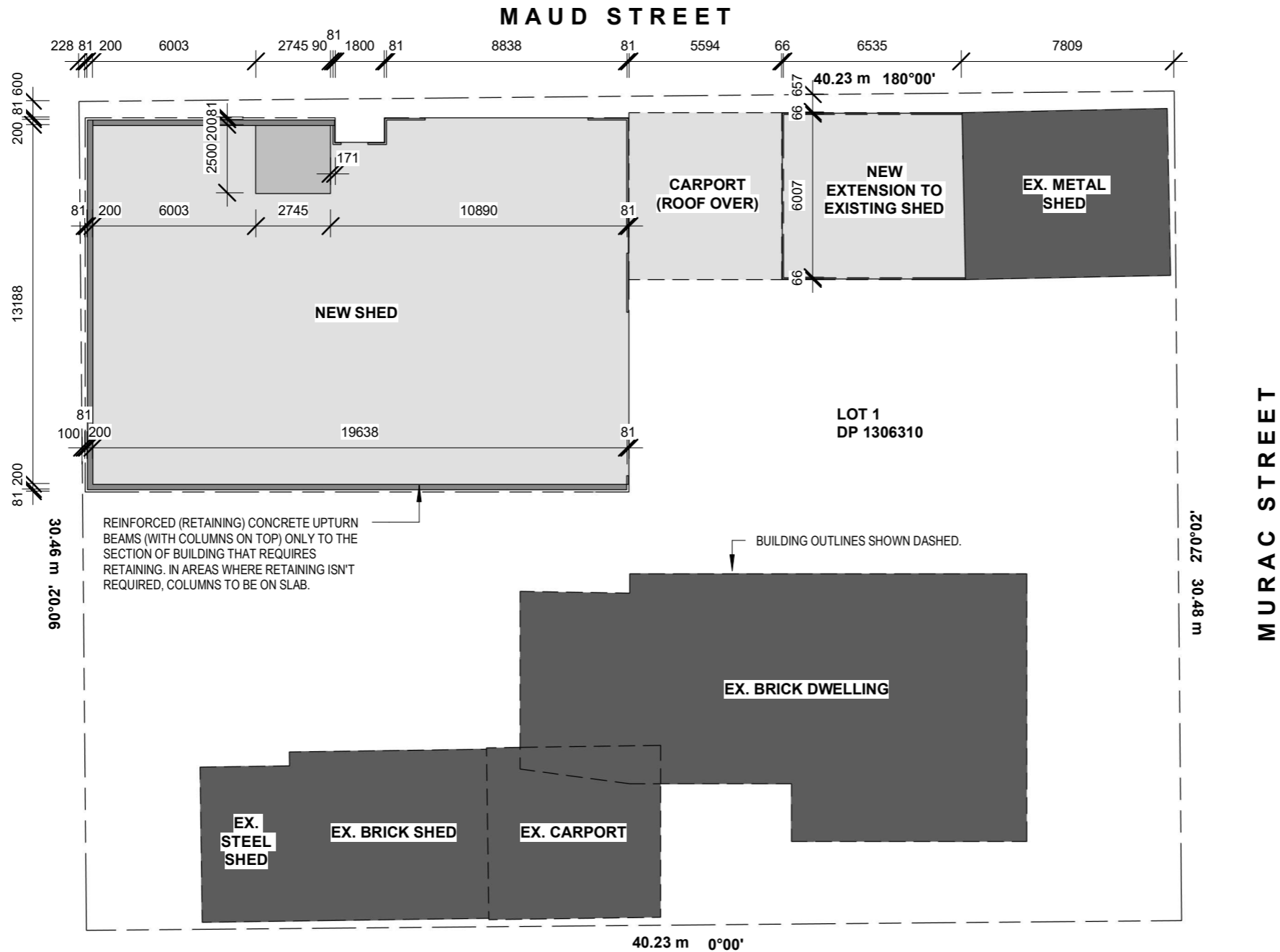
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		SITE DETAIL PLAN - SITE SETOUT	APRIL 24	TL
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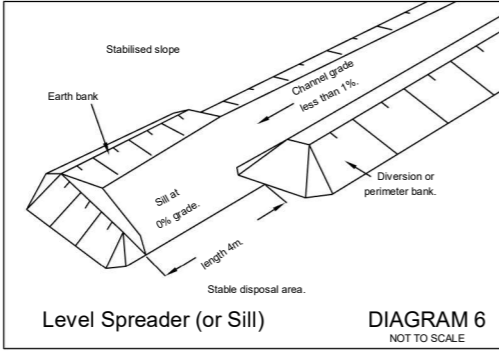
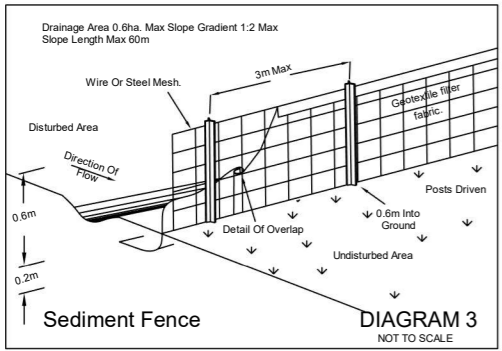
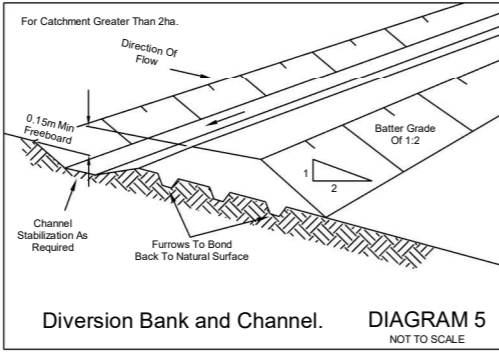
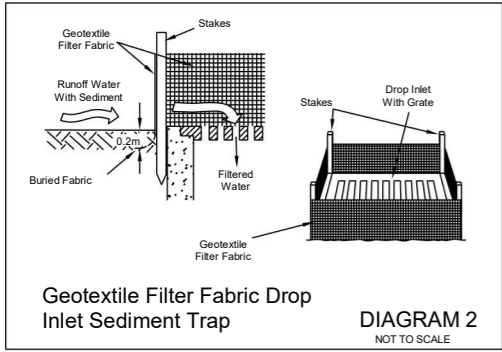
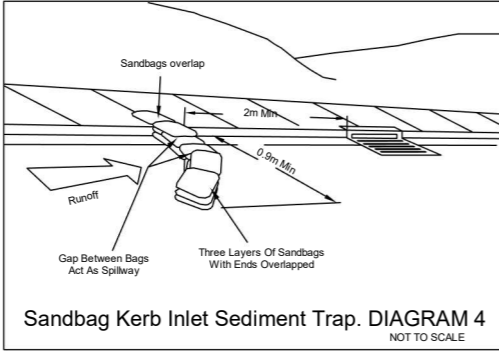
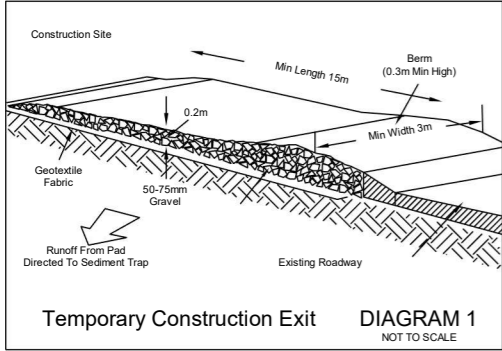


1 SITE DETAIL PLAN - SLAB SETOUT
1 : 200 @ A3



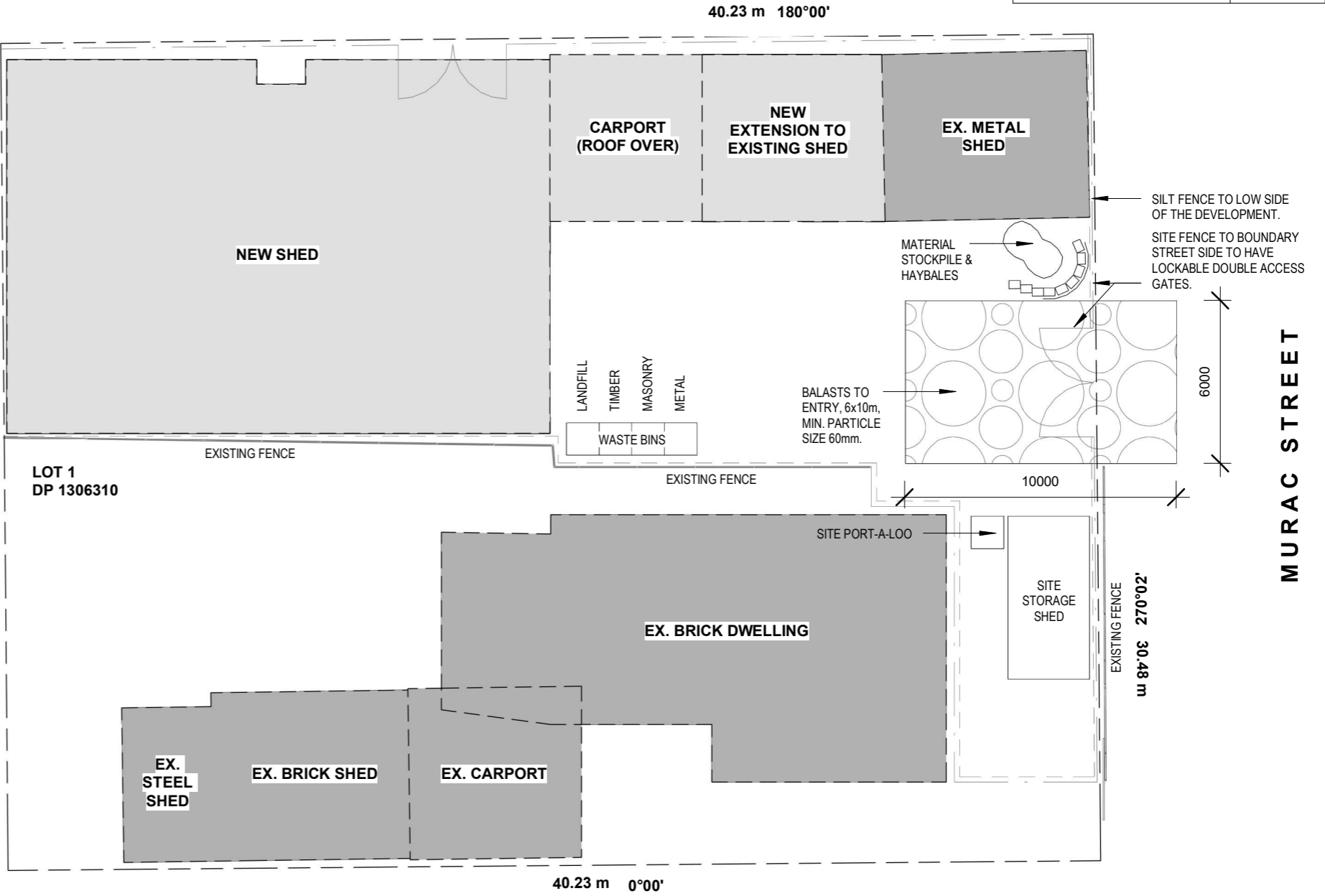
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					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					DA-19	A	



- GENERAL NOTES:**
- ALL WORK TO COMPLY WITH THE REQUIREMENTS OF COUNCIL & DEPT OF HOUSING MANUAL "MANAGING URBAN STORMWATER - SOILS & CONSTRUCTION"
 - ALL DISTURBED AREAS ON VERGES & ALLOTMENTS SHALL BE RIPPED 100mm BELOW FINISHED SURFACE LEVEL, 100mm OF APPROVED SITE OR IMPORTED TOPSOIL ADDED & TRIMMED TO FINISHED LEVEL. THEN GRASSED WITH APPROVED SEED/ MULCHED WITHIN 14 DAYS AND WATERED UNTIL FULL ESTABLISHMENT OCCURS.
 - ALL ADJOINING AREAS TO BE PROTECTED FROM SEDIMENT VIA SILT FENCE AS DETAILED. (IF FALL TO LAND OCCURS)
 - ALL PROPOSED AND EXISTING KERB INLET SUMPS SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (GULLY PIT PROTECTION)
 - ALL SURFACE INLET PITS (OFF ROAD) SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (SURFACE INLET PITS)
 - ALL PAVEMENT & SUBGRADES TO BE PROTECTED FROM SCOUR/EROSION AS DETAILED. (PAVEMENT PROTECTION)
 - ALL OUTLET PIPE'S SHALL BE FITTED WITH STAKED STRAW BALES & SILT FENCE IN A DAM PATTERN.
 - ALL SWALE DRAINS (OPEN CHANNELS) TO BE TREATED AS PER PAVEMENT PROTECTION UNTIL GRASS IS ESTABLISHED.
 - 300mm WIDE STRIP OF TURF TO BE LAID BEHIND KERB. 1m RETURNS AT 50m INTERVALS. TURF ALSO TO BE LAID AROUND ALL SURFACE INLET PITS.
 - EXISTING GRASSED AREAS SHOWN ON SOIL AND WATER MANAGEMENT PLAN ARE TO BE MAINTAINED IN CURRENT CONDITION WHERE EVER POSSIBLE
 - TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie: ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
 - THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTILL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
 - VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
 - THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
 - THE CONTRACTOR'S RESPONSIBILITY IS TO ENSURE ALL NECESSARY MEASURES ARE TAKEN TO PROTECT ALL DISTURBED AREAS AS PER NOTE 1. ALL ADDITIONAL COSTS IS TO BE REFLECTED IN TENDER PRICE EVEN IF SUCH MEASURES ARE NOT INDICATED ON SEDIMENT AND EROSION CONTROL PLANS.

30.46 m 20.06



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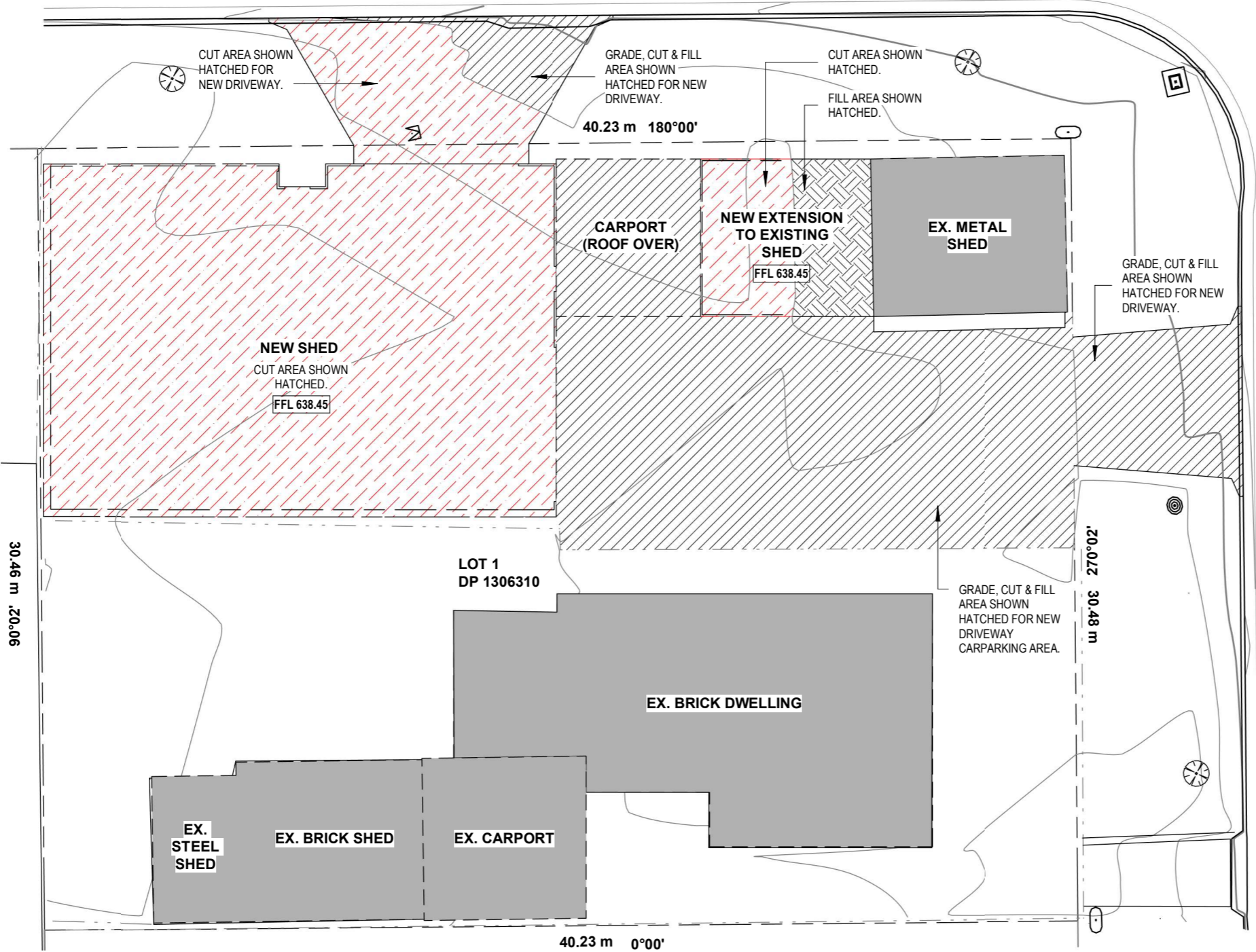
2 SITE DETAIL PLAN - EROSION & SEDIMENT CONTROL
1 : 200 @ A3



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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE SITE DETAIL PLAN - EROSION CONTROL NOTES & PLAN		DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE As indicated	DRAWN BY AW
				Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
							DRAWING IDENTIFICATION NUMBER DA-20	AMENDMENT ISSUE A

MAUD STREET



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SITE AREA 1225.85 m²

CUT & FILL LEGEND

- AREA OF CUT
- AREA OF FILL
- AREA OF GRADE, CUT & FILL

MURAC STREET

1 SITE DETAIL PLAN - CUT & FILL
1 : 200 @ A3



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REINFORCED CONCRETE DRIVEWAYS
& LAYBACKS TO COUNCIL'S
STANDARD ENGINEERING DETAILS.

ALL AREAS OF THE BUILDING
(INCLUDING OPENINGS) THAT
ARE WITHIN 3m OF THE
BOUNDARY TO BE FIRE
RATED TO MEET NCC C2D2
(TYPE C CONSTRUCTION) &
SPEC 5 S5C24.

SOLID WALL MOUNTED, HOT DIP
GALVANISED, HEAVY DUTY
DOWNPIPE PROTECTOR
GUARDS. SIZED TO SUIT
DOWNPIPE SIZE, FABRICATED
FROM 5mm CHEQUERPLATE
STEEL, FIX THROUGH TO STEEL
STRUCTURE & INSTALLED TO
MANUFACTURER'S CURRENT
PRINTED INSTRUCTIONS.

FIXED HEAVY DUTY STEEL
BOLLARDS TO PROTECT DOORS.
10mm BASE PLATE 250x250mm.
FIX INTO 350Ø 600 DEEP MASS
CONCRETE FOOTING WITH 4 No.
M16 CHEMSET ANCHOR MIN.
150mm EMBEDMENT. HOT DIP
GALVANISED FINISH WITH
SAFETY YELLOW
POWDERCOATING. CAST
ALUMINIUM CAPS WITH
STANDARD CLASS 1 REFLECTIVE
BAND. INSTALL TO
MANUFACTURER'S CURRENT
PRINTED INSTRUCTIONS.

2 x 20,000L WATER TANKS ON
100mm CONCRETE SLAB,
CONNECT OVERFLOW TO
EXISTING STORMWATER
SYSTEM.

INGRESS TO & EGRESS FROM
THE SITE, CARPARKING &
ACCESS, DRIVEWAY WIDTHS &
TURNING CIRCLES MUST BE
DESIGNED INSTALLED TO MEET
AS2890, AS1428, NCC, AS &
COUNCIL'S STANDARD
ENGINEERING DETAILS.

1 LANDSCAPE PLAN

1 : 200 @ A3

SYMBOL	QTY.	POT SIZE	COMMON NAME	BOTANICAL NAME	COMMENTS
	80	2 LITRE POT, SPACED MAX. 300mm APART	BIG BLUE	LIRIOPE MUSCARI	GARDEN BED BORDER GRASSES
	96	2 LITRE POT, SPACED MAX. 300mm APART	IVY	HEDERA HELIX	TRELLIS
	9	2 LITRE POT, SPACED MAX. 300mm APART	TOM THUMB	EUONYMUS JAPONICUS MICROPHYLLUS	GARDEN BED DWARF BORDER HEDGE
	6	30 LITRE POT, SPACED MAX. 1000mm APART	SKY PENCIL	ILEX CRENATA	SMALL FEATURE TREES

NOTE : LANDSCAPING IS INDICATIVE ONLY. ACTUAL SPECIES, QUANTITIES & LOCATIONS MAY VARY DEPENDING ON
AVAILABILITY.

- IF SUB-SOIL WATERING SYSTEM IS INSTALLED, CONNECT TO RAIN WATER TANK WITH TIMER. DRIPPERS TO BE
PLACED AT EACH PLANT BASE. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

- PLANT SPECIES TO BE SELECTED FROM GOULBURN MULWAREE COUNCIL'S DEVELOPMENT CONTROL PLAN
APPENDIX B - PREFERRED PLANTING SPECIES IN GOULBURN MULWAREE. FINAL PLANT SELECTION BY CLIENT.

- FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.

NOTE : REFER TO HYDRAULIC DOCUMENTATION FOR STORMWATER MANAGEMENT, HYDRAULIC DETAILS & BIO-FILTRATION
SYSTEMS.

NOTE : THE ACCESSIBLE CARPARK SPACE HAS BEEN
SHOWN COMPLIANT WITH AS2890.6, HOWEVER,
WHEN CONSTRUCTED THE SIGNAGE IS NOT
REQUIRED AS THE CARPARK IS NOT MORE THAN 5
CARPARKING SPACES TO MEET NCC D4D6 (1) (d)
WHICH STATES :

(1) ACCESSIBLE CARPARKING SPACES -
(d) NEED NOT BE IDENTIFIED WITH SIGNAGE WHERE
THERE IS A TOTAL OF NOT MORE THAN 5
CARPARKING SPACES, SO AS TO RESTRICT
THE USE OF THE CARPARKING SPACE ONLY
FOR PEOPLE WITH A DISABILITY.

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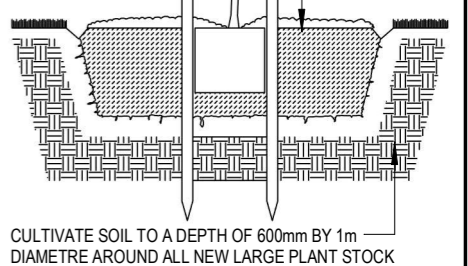
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SITE AREA 1225.85 m²

LANDSCAPING NOTES

- EXCAVATE TO A DEPTH OF 300mm, BREAK UP
SUBGRADE A FURTHER 100mm AND BACKFILL WITH
TOPSOIL MIXTURE. PROVIDE 1:100 FALL TO BASE OF
BED WITH 100 PVC SUBSOIL DRAIN IN BLUE METAL
CONNECTED TO ROOF AND YARD DRAINAGE SYSTEM.
- PROVIDE HOSE COCKS FOR WATERING AT 30m
CENTRES
- FAILURES TO BE REPLACED AND WEEDS REMOVED ON
REGULAR BASIS.
- PLANT STOCK TO BE OF GOOD QUALITY, HARDENED
OFF, NOT ROOT BOUND AND WITH A LEADING SHOOT IF
A TREE SPECIES, FREE OF PESTS AND DISEASE.
- PLANTS TO BE SPACED TO ENSURE INTERLOCKING OF
CANOPIES BY 10-20% FOR SHRUBS AND 30-40% FOR
GROUND COVER.
- MULCHING OF PLANTING BED TO BE 75mm THICK
TAKING CARE TO CLEAR MULCH FROM STEMS.
- SOIL TREATMENT: WHERE TOP SOIL HAS BEEN
STRIPPED, APPLY GYPSUM 300g/m sq. AFTER
REPLACING TOPSOIL TO 300mm DEEP, APPLY LIME AT
200g/m sq. AND ENSURE PH IS 5.5-6.5. APPLY A LOW
9NKPS FERTILISER AT 100g/m sq>.
- AREAS INDICATED GRASSED TO BE ROTARY HOED
THROUGH 100mm TOPSOIL AND FIRST QUALITY TURF
TO BE ROLLED, TAMPED, WATERED AND TOP DRESSED.
REMOVE IRREGULARITIES AND MOW AT FORTNIGHTLY
INTERVALS.

TREES PLANTED
BETWEEN
2' HARDWOOD
STAKES
1800 X 50 X 50 WITH
HESSIAN TIES 50
WIDE



CULTIVATE SOIL TO A DEPTH OF 600mm BY 1m
DIAMETRE AROUND ALL NEW LARGE PLANT STOCK

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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE SITE DETAIL PLAN - LANDSCAPE	DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION	DESCRIPTION	DATE	CLIENT	C. JAMES		DRAWING SCALE As indicated		DRAWN BY AW	
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025				AT SHEET SIZE A3 SHEET		JOB NUMBER 0124-1641	
						DRAWING IDENTIFICATION NUMBER DA-22		AMENDMENT ISSUE A	

OPPOSITE KERB

ROAD CENTRELINE

MAUD STREET

MRV TRUCK (8.8 m)

1

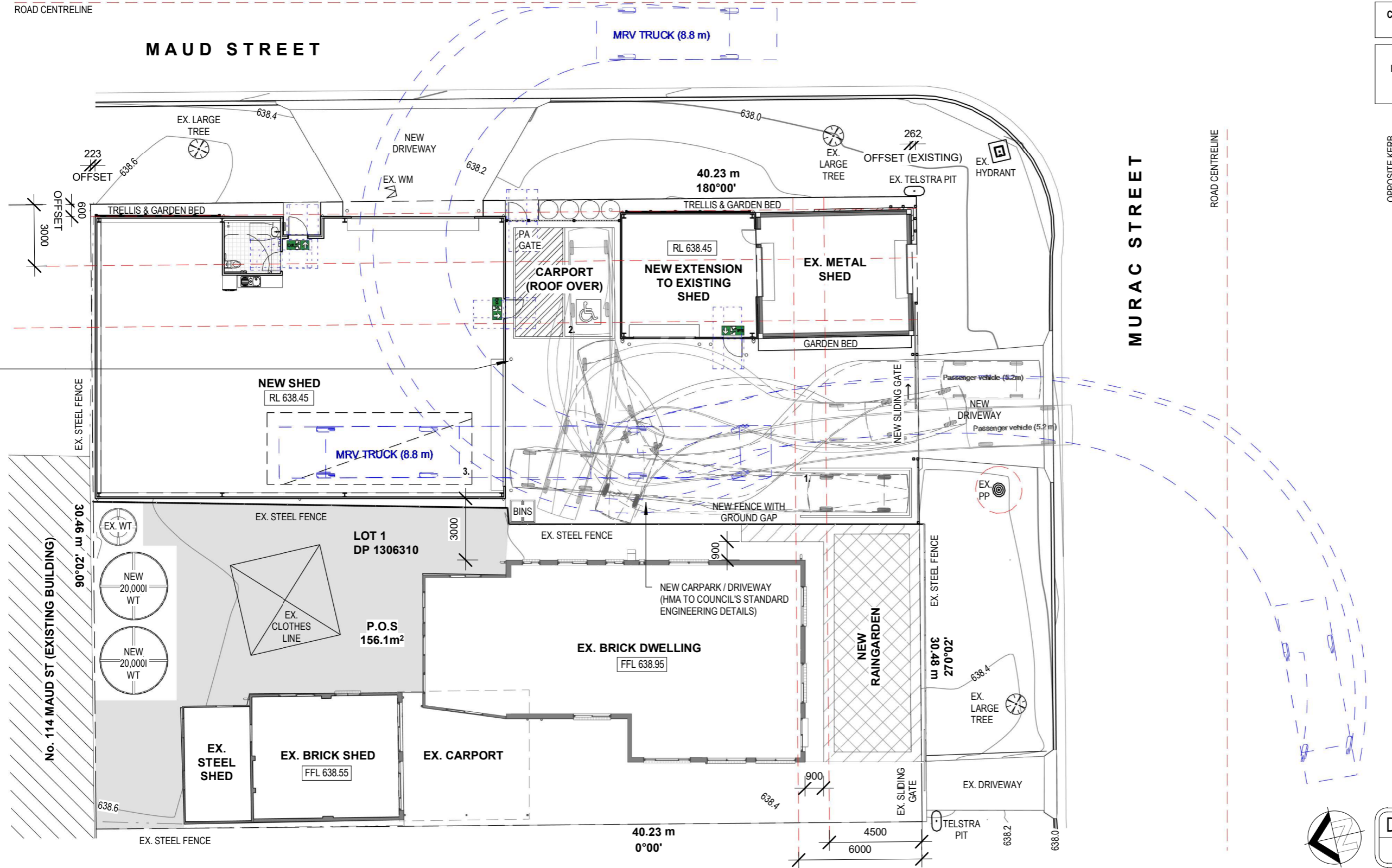
SITE DETAIL PLAN - VEHICLE TURNING CIRCLES

1 : 200 @ A3

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OPPOSITE KERB

MURAC STREET

ROAD CENTRELINE



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DRAWING AMENDMENTS

REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE
NEW SHEDS, ATTACHED CARPORT & EXISTING SHED

CLIENT
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(C)



residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE
SITE DETAIL PLAN - VEHICLE TURNING CIRCLES

LOT AND DEPOSITED PLAN NO.
LOT 1 DP 1306310

STREET ADDRESS
2 MURAC STREET GOULBURN NSW 2580

DRAWING COMMENCED
APRIL 24

DRAWING SCALE
As indicated

AT SHEET SIZE
A3 SHEET

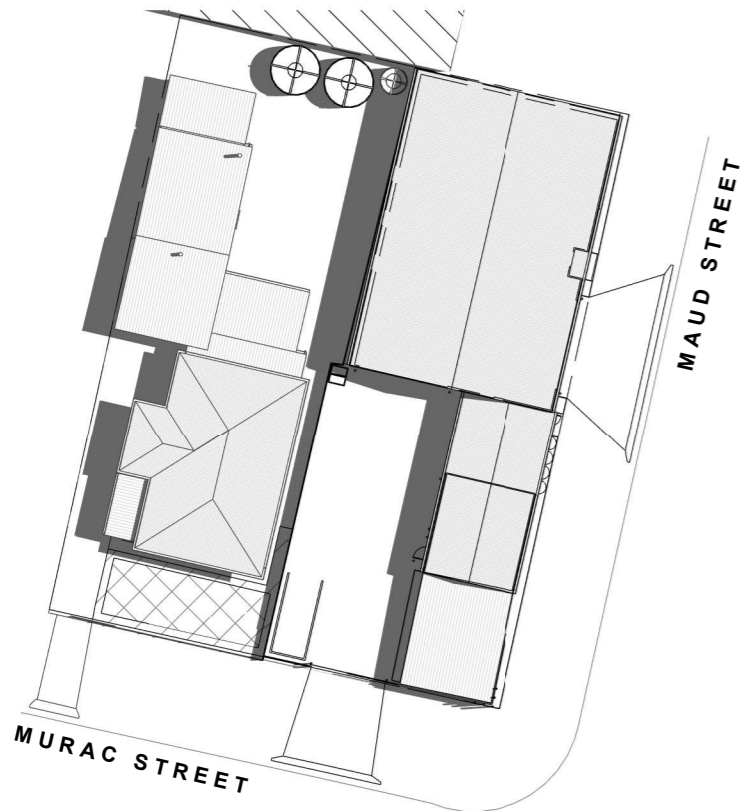
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DA-23

DRAWING VERIFIED BY
TL

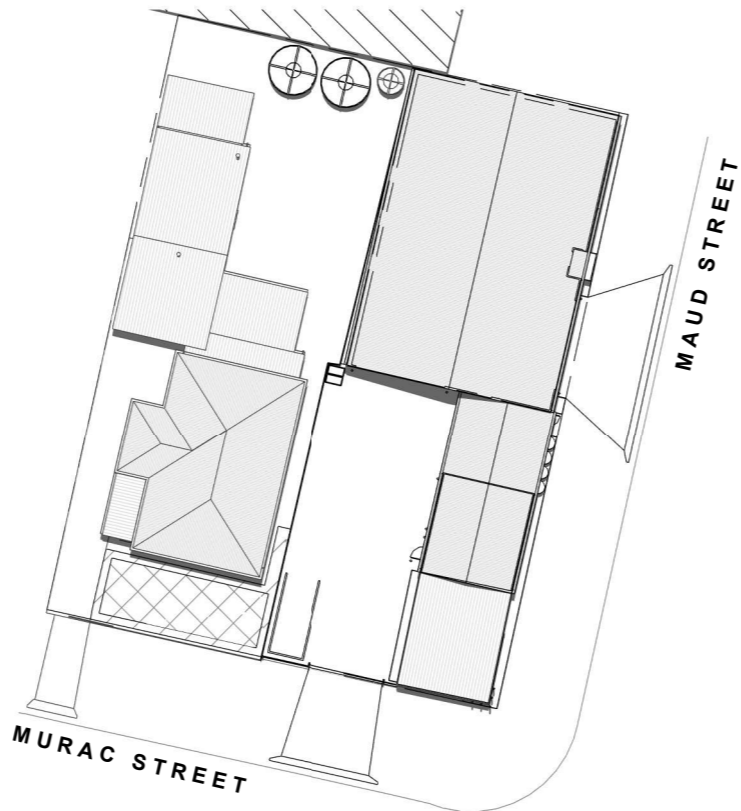
DRAWN BY
AW

JOB NUMBER
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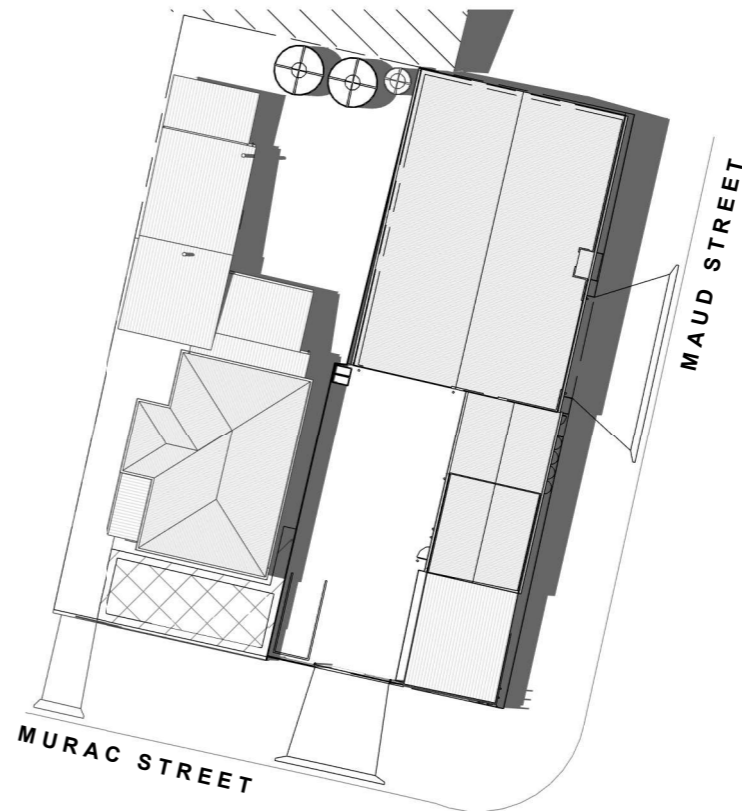
AMENDMENT ISSUE
A



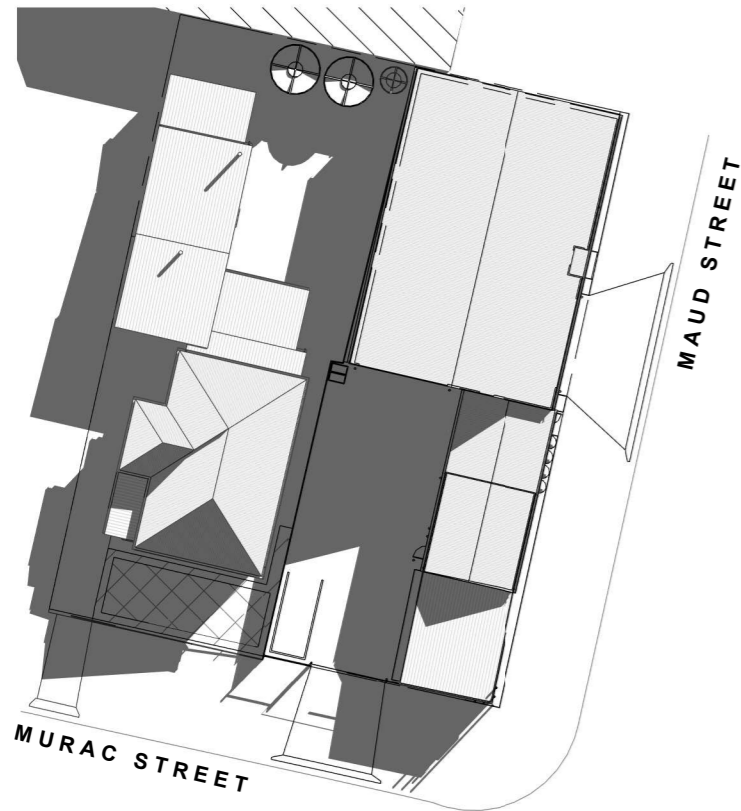
SHADOW DIAGRAM - 9AM SUMMER SOLSTICE



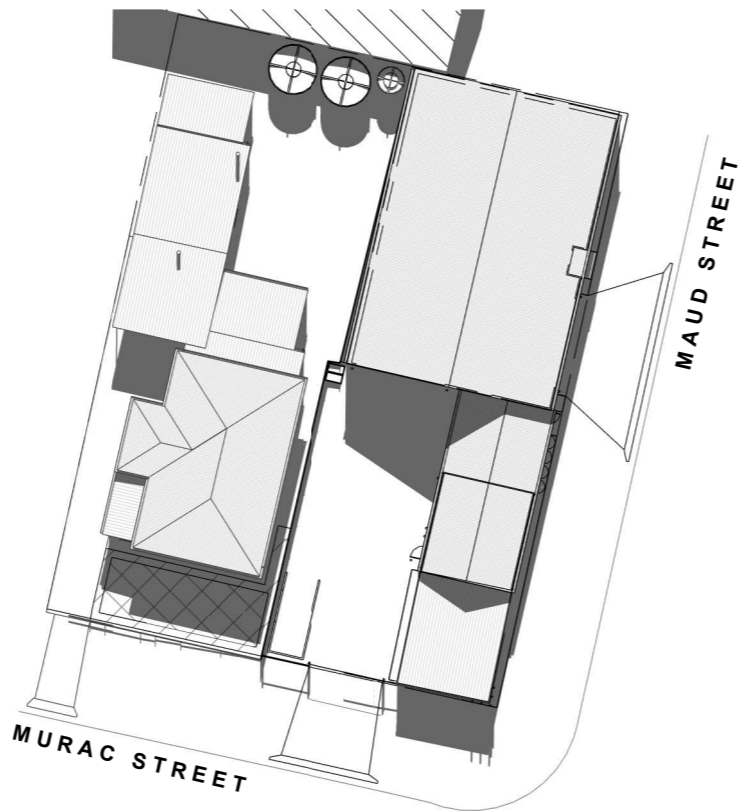
SHADOW DIAGRAM - 12PM SUMMER SOLSTICE



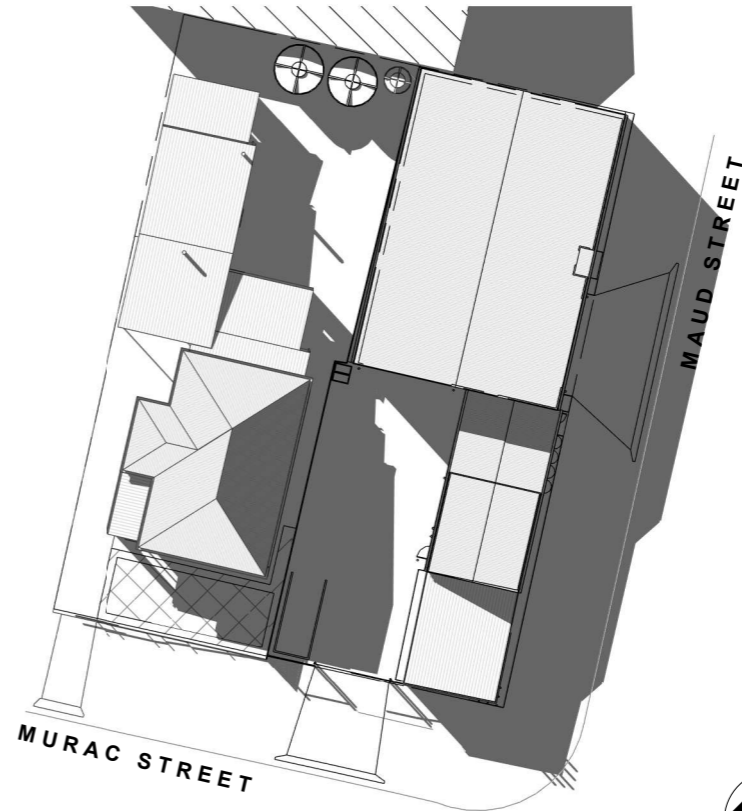
SHADOW DIAGRAM - 3PM SUMMER SOLSTICE



SHADOW DIAGRAM - 9AM WINTER SOLSTICE



SHADOW DIAGRAM - 12PM WINTER SOLSTICE



SHADOW DIAGRAM - 3PM WINTER SOLSTICE

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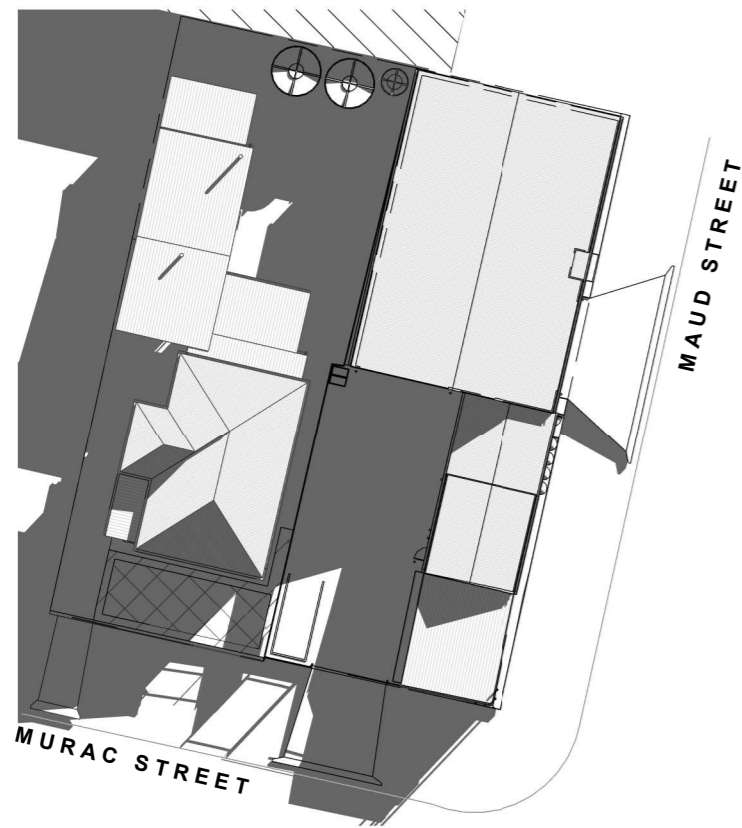
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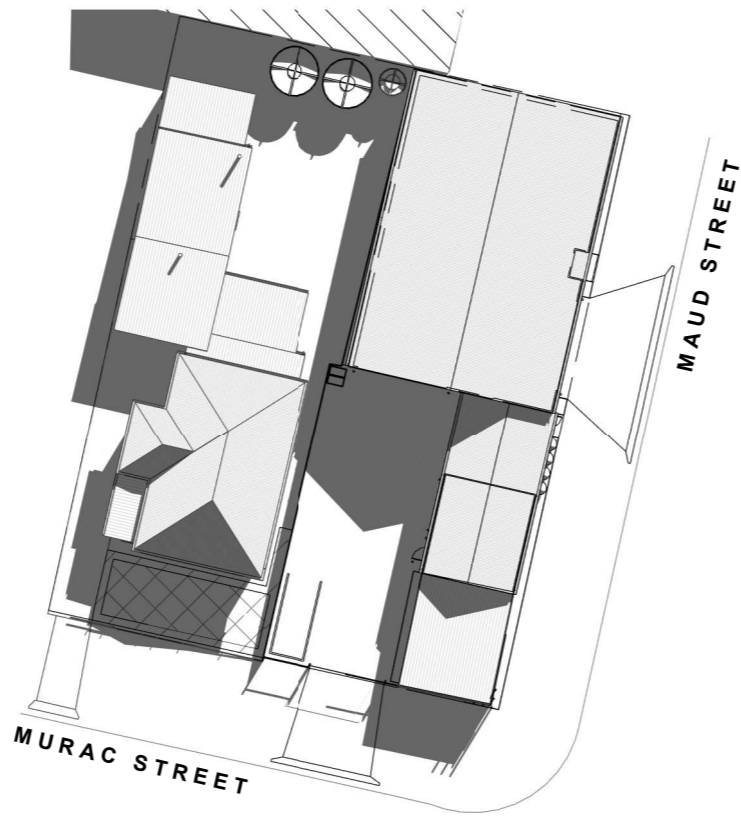


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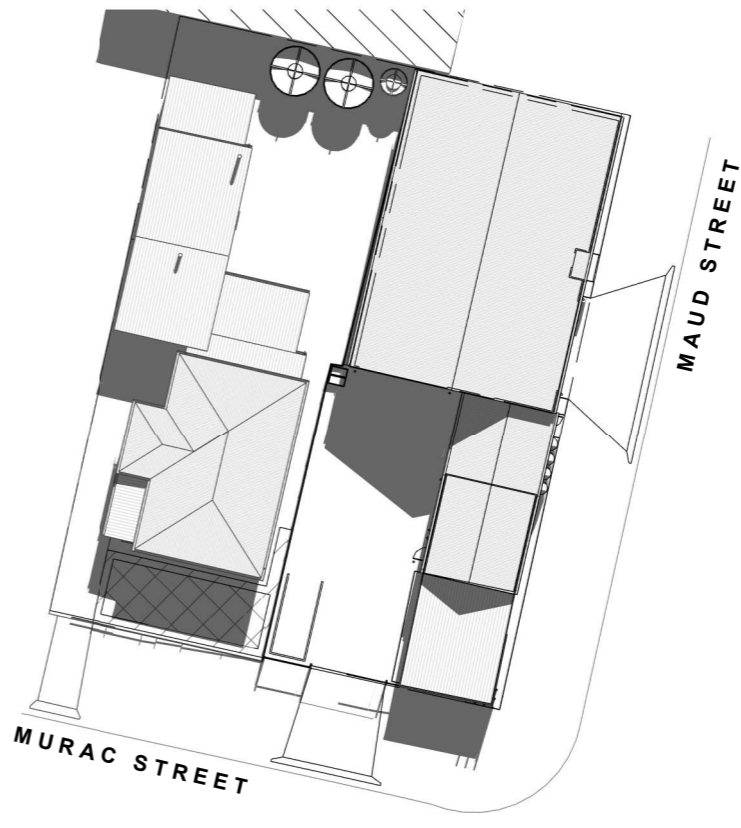
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		SITE DETAIL PLAN - SHADOW DIAGRAMS 1		APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			C. JAMES		LOT 1 DP 1306310		As indicated	AW
			<div>Figured dimensions take precedence. Do not scale drawings.</div> <div>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</div> <div>COPYRIGHT TIM LEE ARCHITECTS</div> <div>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS		AT SHEET SIZE	JOB NUMBER
					2 MURAC STREET GOULBURN NSW 2580	A3 SHEET	0124-1641	
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						DA-24	A	



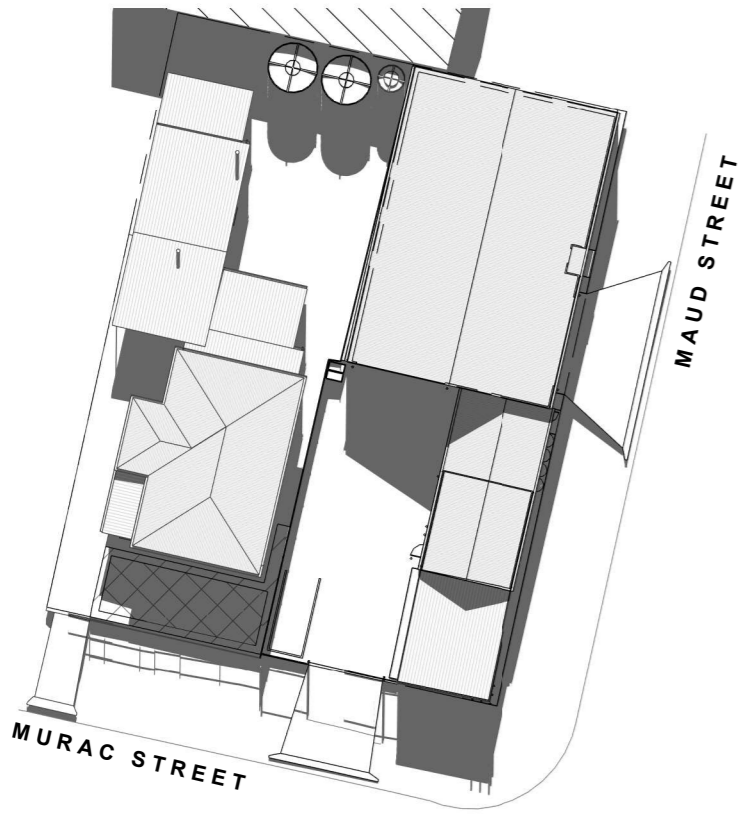
SHADOW DIAGRAM - 9AM WINTER SOLSTICE



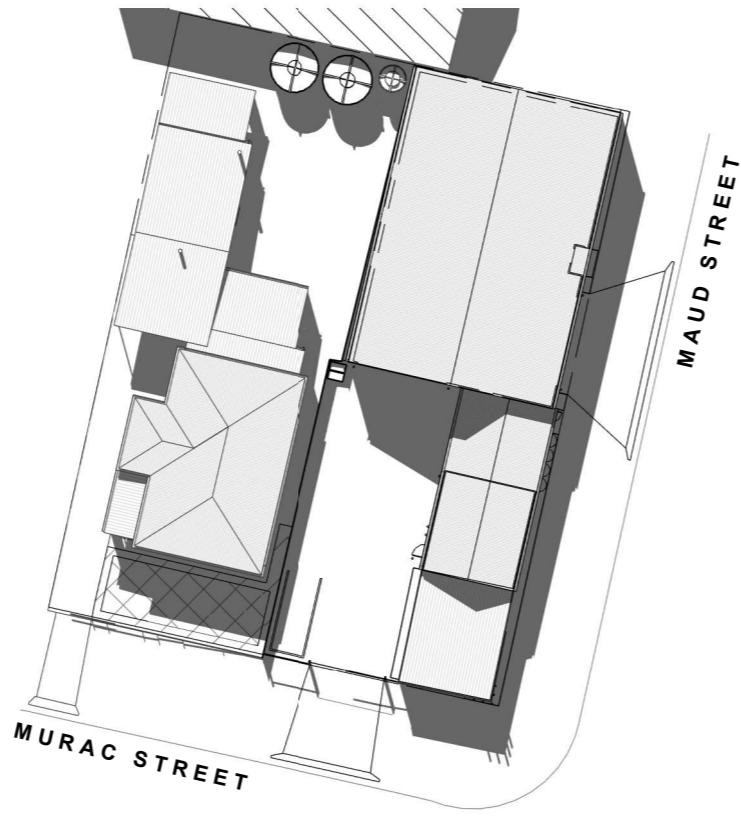
SHADOW DIAGRAM - 10AM WINTER SOLSTICE



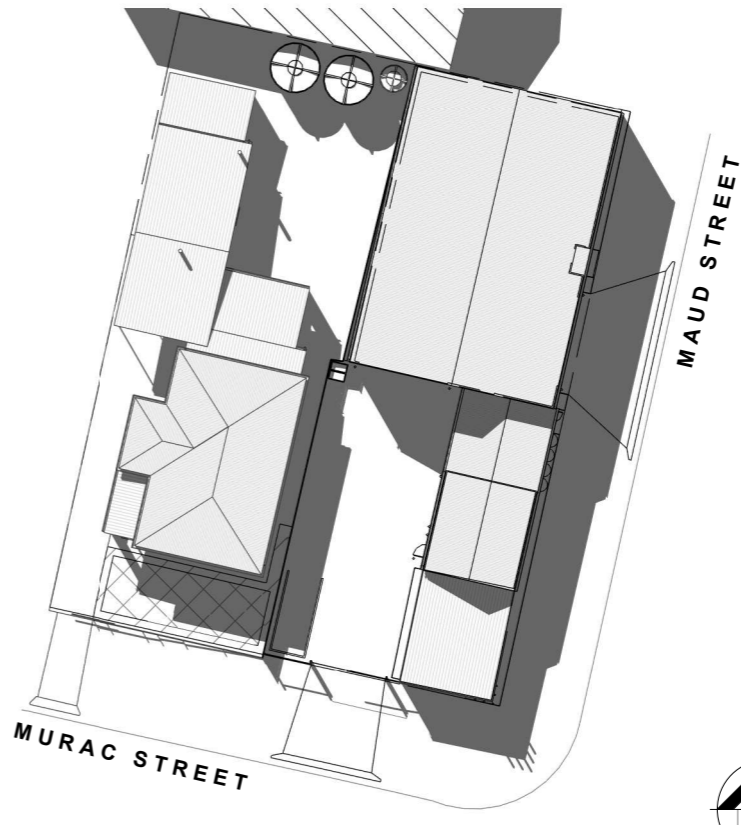
SHADOW DIAGRAM - 11AM WINTER SOLSTICE



SHADOW DIAGRAM - 12PM WINTER SOLSTICE



SHADOW DIAGRAM - 1PM WINTER SOLSTICE



SHADOW DIAGRAM - 2PM WINTER SOLSTICE

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REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		SITE DETAIL PLANS - SHADOW DIAGRAMS 2		APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			C. JAMES		LOT 1 DP 1306310		As indicated	AW
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS		AT SHEET SIZE	JOB NUMBER
				2 MURAC STREET GOULBURN NSW 2580		A3 SHEET	0124-1641	
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						DA-25	A	

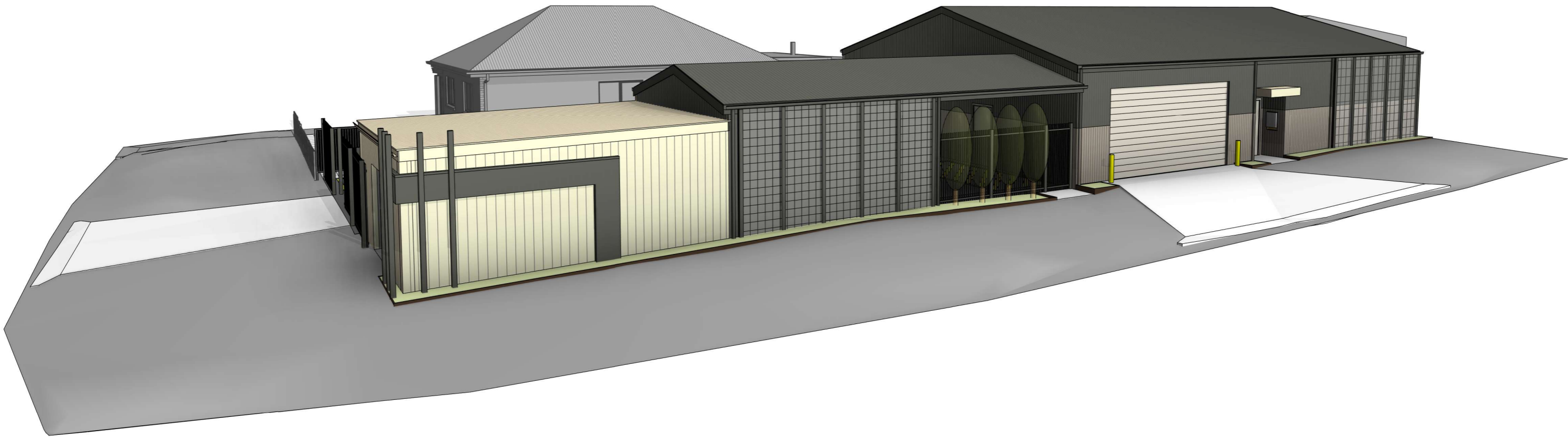
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1 3D PROPOSED PERSPECTIVE 1
@ A3



2 3D PROPOSED PERSPECTIVE 2
@ A3

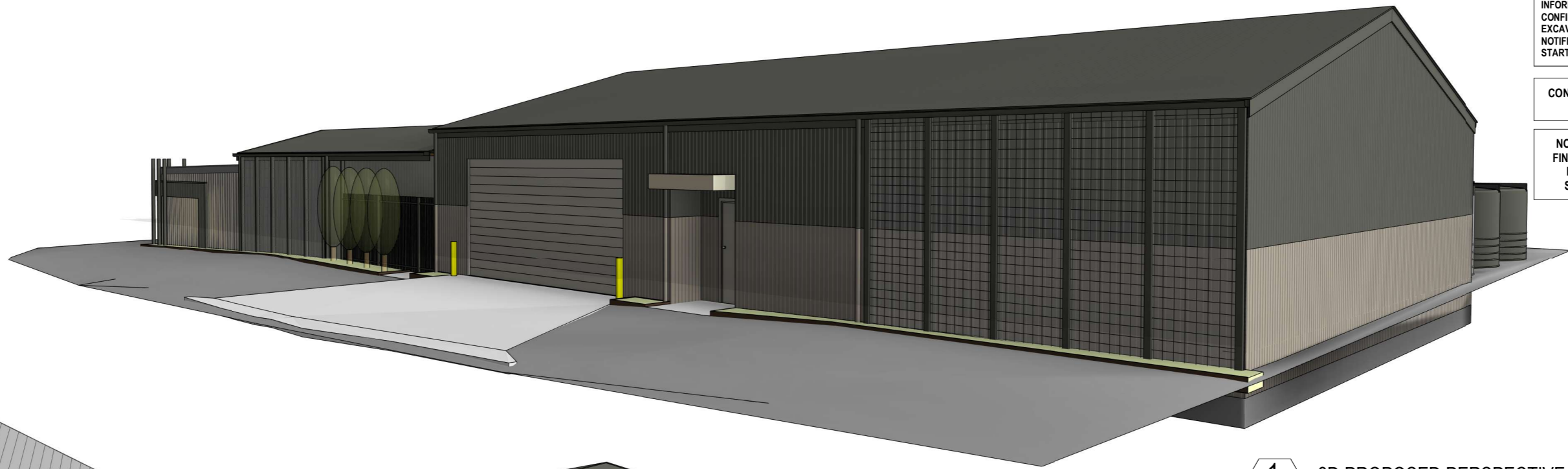
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A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			C. JAMES		LOT 1 DP 1306310	1 : 100	AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
					2 MURAC STREET GOULBURN NSW 2580	A3 SHEET	0124-1641
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-26	A

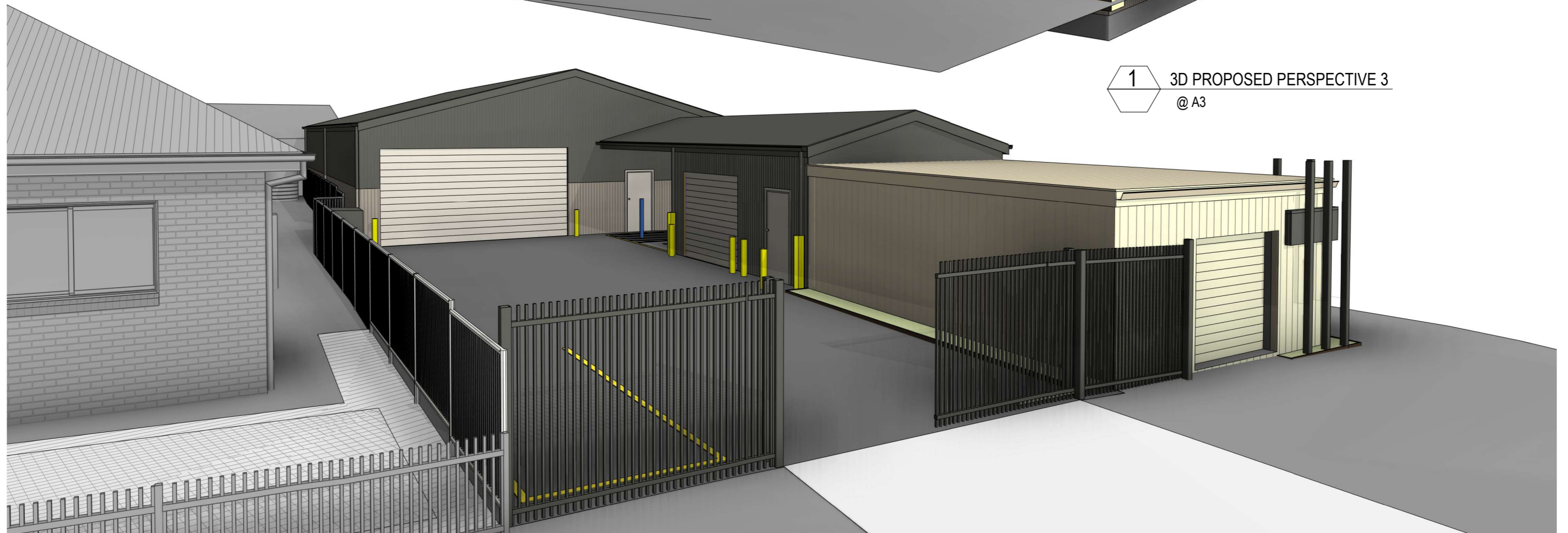
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1 3D PROPOSED PERSPECTIVE 3
@ A3



2 3D PROPOSED PERSPECTIVE 4
@ A3

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REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		3D PERSPECTIVES 2	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			C. JAMES		LOT 1 DP 1306310	1 : 100	AW
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					2 MURAC STREET GOULBURN NSW 2580	A3 SHEET	0124-1641
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						DA-27	A

MAUD STREET

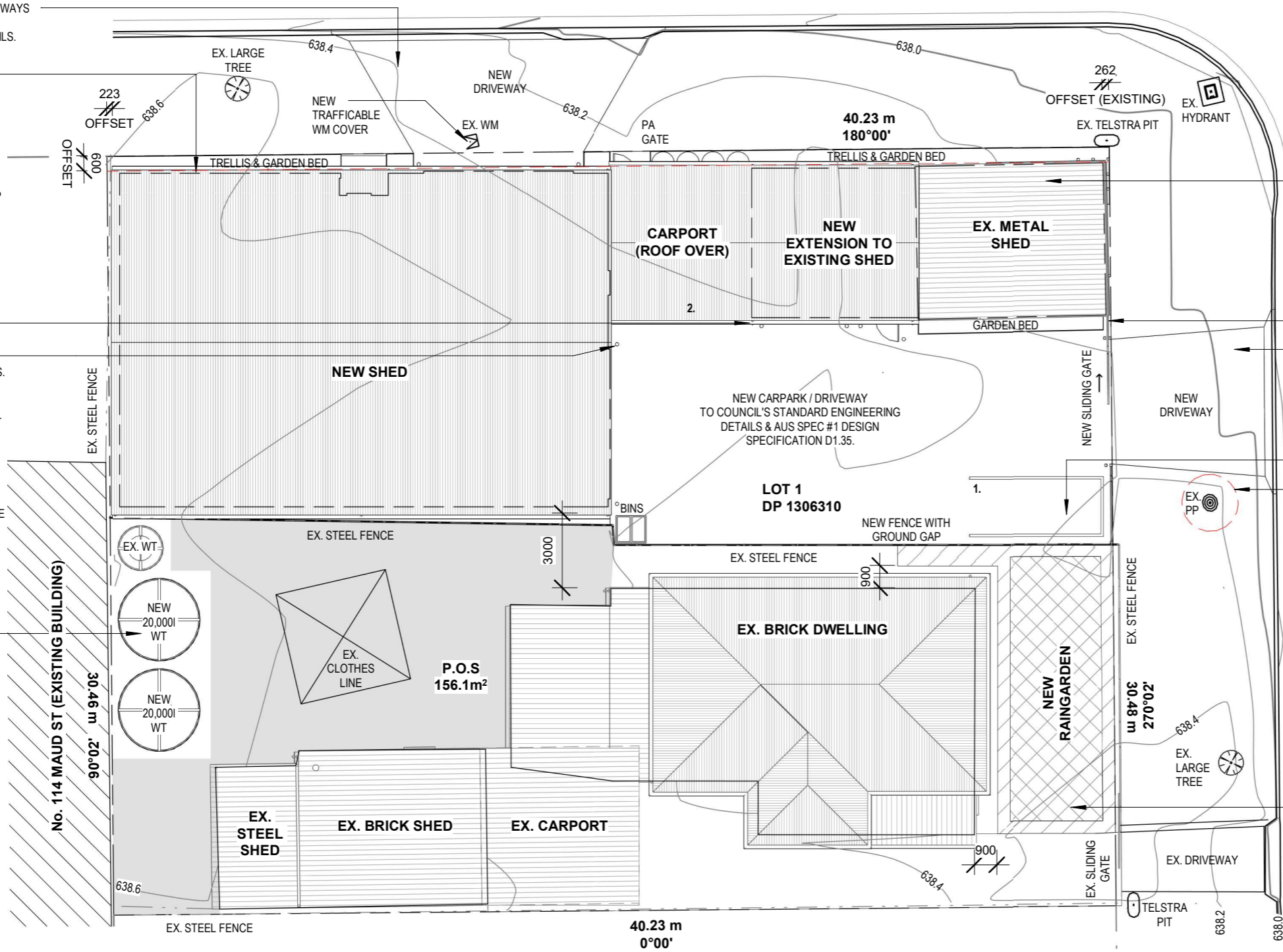
REINFORCED CONCRETE DRIVEWAYS
& LAYBACKS TO COUNCIL'S
STANDARD ENGINEERING DETAILS.

ALL AREAS OF THE BUILDING
(INCLUDING OPENINGS) THAT
ARE WITHIN 3m OF THE
BOUNDARY TO BE FIRE
RATED TO MEET NCC C2D2
(TYPE C CONSTRUCTION) &
SPEC 5 S5C24.

SOLID WALL MOUNTED, HOT DIP
GALVANISED, HEAVY DUTY
DOWNPIPE PROTECTOR
GUARDS. SIZED TO SUIT
DOWNPIPE SIZE, FABRICATED
FROM 5mm CHEQUERPLATE
STEEL, FIX THROUGH TO STEEL
STRUCTURE & INSTALLED TO
MANUFACTURER'S CURRENT
PRINTED INSTRUCTIONS.

FIXED HEAVY DUTY STEEL
BOLLARDS TO PROTECT DOORS.
10mm BASE PLATE 250x250mm.
FIX INTO 350Ø 600 DEEP MASS
CONCRETE FOOTING WITH 4 No.
M16 CHEMSET ANCHOR MIN.
150mm EMBEDMENT. HOT DIP
GALVANISED FINISH WITH
SAFETY YELLOW
POWDERCOATING. CAST
ALUMINIUM CAPS WITH
STANDARD CLASS 1 REFLECTIVE
BAND. INSTALL TO
MANUFACTURER'S CURRENT
PRINTED INSTRUCTIONS.

2 x 20,000L WATER TANKS ON
100mm CONCRETE SLAB,
CONNECT OVERFLOW TO
EXISTING STORMWATER
SYSTEM.



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LEVELS, ETC, TO BE CONFIRMED ONSITE BY
SURVEYOR PRIOR TO COMMENCING WORKS.

SITE AREA 1225.85 m²

NOTE : THE ACCESSIBLE CARPARK SPACE HAS BEEN
SHOWN COMPLIANT WITH AS2890.6, HOWEVER, WHEN
CONSTRUCTED THE SIGNAGE IS NOT REQUIRED AS THE
CARPARK IS NOT MORE THAN 5 CARPARKING SPACES TO
MEET NCC D4D6 (1) (d) WHICH STATES :
(1) ACCESSIBLE CARPARKING SPACES -
(d) NEED NOT BE IDENTIFIED WITH SIGNAGE WHERE
THERE IS A TOTAL OF NOT MORE THAN 5 CARPARKING
SPACES, SO AS TO RESTRICT
THE USE OF THE CARPARKING SPACE ONLY FOR PEOPLE
WITH A DISABILITY.

INGRESS TO & EGRESS FROM THE SITE, CARPARKING &
ACCESS, DRIVEWAY WIDTHS & TURNING CIRCLES MUST
BE DESIGNED INSTALLED TO MEET AS2890, AS1428, NCC,
AS & COUNCIL'S STANDARD ENGINEERING DETAILS.

EXISTING METAL SHED FOR DA &
BIC APPROVAL.

NEW FRONT FENCE, PA GATE
(920mm DL) & 5w x2.1h m
AUTOMATIC SLIDING GATE TO
FRONT BOUNDARY TO
BE POWDERCOAT STEEL PALISADE
FENCE & GATES. ALL GATE
CIRCULATION SPACES TO MEET
AS1428.1.

REINFORCED CONCRETE
DRIVEWAYS & LAYBACKS TO
COUNCIL'S STANDARD ENGINEERING
DETAILS.

ONSITE CARPARKING & ACCESSIBLE
PARKING IN ACCORDANCE WITH
AS2890.1, AS2890.6 & COUNCIL'S
STANDARD ENGINEERING DETAILS.

LOCATION OF EXISTING
POWERPOLE WITH 1m CLEARANCE
ZONE SHOWN DASHED RED.

BIORETENTION BASIN 38m² OF
EXTENDED DETENTION 100mm
DEEP & 5m² OF FILTER MATERIAL
300mm DEEP. REFER TO
HYDRAULIC ENGINEER'S DETAILS.

MURAC STREET

1 NOTIFICATION PLAN
1 : 200 @ A3



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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE NOTIFICATION PLAN		DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION	DESCRIPTION	DATE	CLIENT	C. JAMES	LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310	DRAWING SCALE As indicated	DRAWN BY AW
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025					AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
							DRAWING IDENTIFICATION NUMBER NP-01	AMENDMENT ISSUE A